

Strategic Planning Board

Agenda

Date: Wednesday, 31st January, 2024
Time: 10.00 am
Venue: Council Chamber, Municipal Buildings, Earle Street, Crewe CW1 2BJ

Please note that members of the public are requested to check the Council's website the week the Strategic Planning Board meeting is due to take place as Officers produce updates for some or all of the applications prior to the commencement of the meeting and after the agenda has been published

The agenda is divided into 2 parts. Part 1 is taken in the presence of the public and press. Part 2 items will be considered in the absence of the public and press for the reasons indicated on the agenda and at the top of each report.

It should be noted that Part 1 items of Cheshire East Council decision making meetings are audio recorded and the recordings will be uploaded to the Council's website

PART 1 – MATTERS TO BE CONSIDERED WITH THE PUBLIC AND PRESS PRESENT

- 1. Apologies for Absence**
- 2. Declarations of Interest/Pre Determination**

To provide an opportunity for Members and Officers to declare any disclosable pecuniary interests, other registerable interests, and non-registerable interests in any item on the agenda and for Members to declare if they have a pre-determination in respect of any item on the agenda.

- 3. Minutes of the Previous Meeting (Pages 3 - 8)**

To approve the minutes of the meeting held on 20 December 2023 as a correct record.

For requests for further information

Contact: Sam Jones
Tel: 01270 686643
E-Mail: samuel.jones@cheshireeast.gov.uk

4. **Public Speaking**

A total period of 5 minutes is allocated for each of the planning applications for the following:

- Ward Councillors who are not members of the Strategic Planning Board
- The relevant Town/Parish Council

A period of 3 minutes is allocated for each of the planning applications for the following individuals/groups:

- Members who are not members of the Strategic Planning Board and are not the Ward Member
- Objectors
- Supporters
- Applicants

5. **21/4283C - Report - Land Off, WARMINGHAM LANE, MIDDLEWICH: Reserved Matters application (including appearance, landscaping, layout and scale) for the development of 235 dwellings and associated infrastructure Outline planning permission not subject to EIA (Pages 9 - 48)**

To consider the above planning application.

6. **22/1930C - Report - MOUNT PLEASANT FARM, GIANTSWOOD LANE, HULME WALFIELD, CHESHIRE, CW12 2JJ: The demolition of certain existing buildings and the erection of residential dwellings (Use Class C3) with access, car parking, landscaping, public open space and associated infrastructure. (Pages 49 - 100)**

To consider the above planning application.

7. **23/2566N - Report - Land at Peter Destapleigh Way, Stapeley, Nantwich (Phase 2): Reserved matters application pursuant to outline planning permission ref: 12/3747N for the appearance, scale, layout, and landscaping for Phase 2 mixed-use development including employment development (comprising office and warehouse and light industrial buildings) and local centre with parking, service yards and associated infrastructure. (Pages 101 - 140)**

To consider the above planning application.

Membership: Councillors M Brooks, S Edgar, D Edwardes, K Edwards, S Gardiner (Vice-Chair), T Jackson, G Marshall, H Moss, B Puddicombe (Chair), H Seddon and L Smetham

CHESHIRE EAST COUNCIL

Minutes of a meeting of the **Strategic Planning Board**
held on Wednesday, 20th December, 2023 in the The Capesthorne Room -
Town Hall, Macclesfield SK10 1EA

PRESENT

Councillor B Puddicombe (Chair)
Councillor S Gardiner (Vice-Chair)

Councillors M Brooks, S Edgar, K Edwards, T Jackson, G Marshall, H Moss,
H Seddon, C Browne and L Smetham

OFFICERS IN ATTENDANCE

David Malcolm, Head of Planning
Adrian Crowther, Senior Planner
Nick Hlland, Principal Planning Officer
Paul Griffiths, Major Projects Officer
James Thomas, Senior Planning and Highways Lawyer
Rachel Graves, Democratic Services Officer
Sam Jones, Democratic Services Officer

25 APOLOGIES FOR ABSENCE

Apologies for absence were received from Councillor David Edwardes.
Councillor Craig Browne attended as substitute.

26 DECLARATIONS OF INTEREST/PRE DETERMINATION

In the interest of openness the following declarations were made:

Councillor Gardiner read out the following statement in relation to
21/3100M:

“It has been suggest that my position on this Board has been fettered by
my previous actions as a member of this Council, as a member of
Knutsford Town Council and through associations relating to my previous
appointment.

I was a Member of Knutsford Town Council (and then Chair of the
Neighbourhood Plan Committee) which KTC recommended to Cheshire
East that in the event that additional sites were required to meet the Local
Plan’s assessed needs, then this site should be allocated in the Cheshire
East Local Plan. This situation came about when the Local Plan Inspector
instructed Cheshire East to identify further sites in the north of the Borough
(including Knutsford) to bring the total number of homes for Knutsford
nearer to 1000 than the 600 proposed.

This was one of several sites on the outskirts of the Town which was under consideration. However, the Local Plan Inspector independently agreed this was the site which should be allocated.

I was a member of Cheshire East Council at the time the Local Plan was put forward for adoption and voted for its adoption. However, the Local Plan was adopted several years ago and the site's allocation within the Local Plan is now a matter of fact and a material consideration which I am required to consider when determining whether this application should be refused or allowed. As such I consider that my previous comments and voting record no more fetter's my position today than any other member of this Board.

Additionally, I was previously in the employ of Emery Planning, the agents for the application and I work directly with Mr Coxon at that time. I ceased working for Emery Planning in 2010 and although my paths continue to cross with Mr Coxon and other former colleagues, these meetings are increasingly rare these days and I don't recall seeing Mr Coxon for at least 4 years. I have not engaged with Mr Coxon or any of his colleagues I may have bumped into in the meantime regarding this application.

The last occasion I recall seeing Mr Coxon was when I attended a pre-submission briefing session about this site hosted by officers of Knutsford Town Council and attended by the Town Clerk, Mr Coxon, and most members of the Town Council in post at that time.

It is part of the planning process of major applications for applicants to hold formal briefings with Town and Parish Councils in advance of formally submitting their application. At that meeting I did make several observations about concerns I had with the draft proposal.

Furthermore I am known to Mrs Jamison as a resident of Knutsford, as a spokesperson for KROW, a regular attendee at Town Council meetings and a lead-member of one of the working groups collecting data, informing debate and drafting policies for the Knutsford Neighbourhood Plan, as previously mentioned I was the Chair of the Neighbourhood Plan Committee which oversaw the procedures associated with the Neighbourhood Plan, so had regular interaction with Mrs Jamison at that time. Timetabling issues aside, since its submission I have not discussed the application under consideration with Mrs Jamison.

I am known to Mr Finnan as a resident of Knutsford, we attend the same church and his wife, and I sing in the Church's choir together. Although I first met with Mr Finnan (and his wife) several years ago when this site was under consideration as part of the Local Plan process and I have subsequently met with him to walk the site, and I am thankful for him sharing his knowledge of the site's flora and fauna. Since the submission of this application, I have persisting told Mr Finnan that I cannot discuss this case with him, albeit he has regularly asked me when the application might come before the Board.

Yes, this site and I have history, but I have come here today with an open mind about this application, I can genuinely say that despite normally coming to the Board with some inclination as to how I might end up voting, with this application I genuinely have no idea. I do not believe that I am fettered in any way.”

Councillor Moss declared that, in relation to application 21/3100M, she was handed a paper of a note from Public Speaker Councillor Coan on her way in to the meeting, but handed it back without reading it.

Councillor Gardiner declared that, in relation to application 21/3100M, he has been an acquaintance of public speakers Councillor Coan, Councillor James McCulloch, Quentin Abel and Jeff Gazzard.

Councillor Browne declared that, in relation to application 21/3100M, he had been a Trustee of the Charity “Welcome” between 2013-2017, which was mentioned in the report, but has had no links to charity since 2019 and no discussion with its officers regarding this application.

Councillor Smetham declared that, in relation to application 21/3100M, she was an acquaintance of public speakers Councillor Coan and Quentin Abel, and was a member of the National Trust and Cheshire Wildlife Trust.

Councillor Brooks declared that, in relation to application 21/3100M, she was an acquaintance of public speaker Jeff Gazzard, although hadn't spoken for 20+ years, and was a member of the National Trust.

Councillor Puddicombe declared that, in relation to application 21/3100M, he was a member of the National Trust.

It was declared that all Cheshire East Councillors elected in 2019 had previously received a copy of public speaker Quentin Abel's book.

Councillor Gardiner read out the following statement in relation to application 22/3283M:

“I am known to the site's landowner (who I note is not the applicant) through Tatton Estates being a major land owner in and around Knutsford, a company which regularly submits applications to this Council. I am also known to him in my capacity as a member and current chair of Knutsford Conservative Association.

Tatton Estates is the landlord of Association's office, albeit all transactions are through the owner's agent. Additionally, people associated with Tatton Estates regularly attend social events which I may be attending. However, I have not discussed this application with anyone from Tatton Estates.”

Councillor Moss declared that, in relation to application 22/3283M, she has a professional association with the Tatton Estates Association, but has not discussed this application with employees.

Councillor Browne declared that, in relation to application 22/3283M, he was know to the land owner who had previously invited Councillor Browne to attend a lunch in his capacity as Deputy Leader of Cheshire East Council which he attended and met with a number of senior politicians, but did not discuss this application.

Councillor Edgar declared that, in relation to application 22/3283M, he was known to the land owner, but the application had not been discussed.

27 **MINUTES OF THE PREVIOUS MEETING**

RESOLVED:

That the minutes of the meeting held on 22 November 2023 be approved as a correct record.

28 **PUBLIC SPEAKING**

The public speaker procedure was noted.

In advance of the meeting the Chair had agreed the Local Community Groups would be allowed a period of up to 3 minutes each speaking time.

29 **21/3100M - REPORT - LAND EAST OF, LONGRIDGE, KNUTSFORD: OUTLINE PLANNING PERMISSION WITH SOME MATTERS RESERVED - RESIDENTIAL DEVELOPMENT OF UP TO 225 DWELLINGS AND A BUILDING FOR CLASS F2 USE (WITH ACCESS CONSIDERED).**

Consideration was given to the above planning application.

The following attended the meeting and spoke in relation to the application:

Peter Coan (Ward Councillor Councillor), Councillor James McCulloch (Knutsford Town Council), Debbie Jamison (Community Group "KROW"), John Finnan (Community Group "Save Longridge Greenbelt"), Jonathan Smith, Quentin Abel, Jeff Gazzard (objectors), and John Coxon (applicant).

RESOLVED:

That the application be **REFUSED** for the following reasons:

1. The proposed development would represent inappropriate development in the Green Belt as a result of the impact of the access

arrangements upon its openness, also resulting in encroachment. The development would also result in additional harm with regards to ecology, particularly as a result of the impact upon the Longridge Local Wildlife Site as well as resulting in a loss of Protected Open Space. It is not deemed that Very Special Circumstances clearly outweigh the identified harm. The application is subsequently deemed contrary to policies PG3 (Green Belt), SE3 (Biodiversity and Geodiversity) and LPS38 (Land South of Longridge, Knutsford) of the Cheshire East Local Plan Strategy, policies ENV2 (Ecological Implementation) and REC1 (Open Space Protection) of the Cheshire East Site Allocations and Development Policies Document, policies E3 (Habitat Protection and Biodiversity) and E4 (Local Green Space) of the Knutsford Neighbourhood Plan and the National Planning Policy Framework.

2. The proposed development would fail to deliver an effective integrated scheme due to the lack of visual and physical connections and accessibility with the existing development on Longridge. The development is subsequently deemed contrary to policies SD2 (Sustainable Development Principles) and SE1 (Design) of the Cheshire East Local Plan Strategy, policy GEN1 (Design principles) of the Cheshire East Site Allocations and Development Policies Document, policy D1 (The Knutsford Design Guide) of the Knutsford Neighbourhood Plan, the Cheshire East Council Borough Design Guide Supplementary Planning Document and the National Planning Policy Framework.

In the event of any changes being needed to the wording of the Committee's decision (such as to delete, vary or add conditions/informatives/planning obligations or reasons for approval/refusal) prior to the decision being issued, the Head of Planning has delegated authority to do so in consultation with the Chairman of the Strategic Planning Board, provided that the changes do not exceed the substantive nature of the Committee's decision.

Councillor Marshall left the meeting before consideration of the following item and did not return.

- 30 **22/3283M - REPORT - COSTAIN COMPOUND LAND SOUTH OF, LYMM ROAD, LITTLE BOLLINGTON: VARIATION OF CONDITIONS 1 & 2 ON APPROVAL 20/4682M FOR VARIATION OF CONDITIONS 1 & 2 ON APPROVAL 18/3219M FOR PROPOSED CONTINUED USE OF CONSTRUCTION COMPOUND INCLUDING ASSOCIATED ACCESS, CAR PARKING, CONSTRUCTION VEHICLE STORAGE, PORTACABINS AND OTHER ASSOCIATED WORKS.**

Consideration was given to the above planning application.

The following attended the meeting and spoke in relation to the application:

Jonathan Burns (applicant)

RESOLVED:

That the application be **REFUSED** for the reasons set out in the officer's report:

1. The proposed development would constitute inappropriate development in the Green Belt which by definition would be harmful. The very special circumstances put forward are not considered to outweigh this harm. In addition, there is considered to be landscape harm with no proposals to mitigate this. The proposal is therefore considered to be contrary to para's 147-150 of the NPPF, Policies PG3 Green Belt & SE 4 The Landscape of the LPS, and Policy ENV 5 Landscaping of the SADPD.

In the event of any changes being needed to the wording of the Committee's decision (such as to delete, vary or add conditions/informatives/planning obligations or reasons for approval/refusal) prior to the decision being issued, the Head of Planning has delegated authority to do so in consultation with the Chairman of the Strategic Planning Board, provided that the changes do not exceed the substantive nature of the Committee's decision.

The meeting commenced at 10.01 am and concluded at 1.58 pm

Councillor B Puddicombe (Chair)

Application No: 21/4283C

Location: Land Off, WARMINGHAM LANE, MIDDLEWICH

Proposal: Reserved Matters application (including appearance, landscaping, layout and scale) for the development of 235 dwellings and associated infrastructure Outline planning permission not subject to EIA

Applicant: Tim Booth, Jones Homes Ltd

Expiry Date: 07-Feb-2024

SUMMARY

The principle of development has already been accepted as part of the outline approval on this site.

The development will not have a detrimental impact upon residential amenity and would comply with Policies HOU12 and HOU13 of the SADPD.

The design of the proposed development has been the subject of revised plans and is now of an acceptable design. The scheme complies with Policies SE1 and SD2 of the CELPS, GEN1 of the SADPD, the CEC Design Guide and LCD1 of the Moston NP.

The POS is considered to be acceptable and would be a benefit to this scheme.

The proposed landscaping scheme does require some minor improvements but this could be secured via the imposition of planning conditions. The development is acceptable in terms of its impact upon ecology and would comply with Policies SE1, SE3 (Biodiversity and Geodiversity), SE4, SE5 and SE6 of the CELPS, ENV1, ENV2 and ENV5 of the SADPD and Policies ENV1 and LCD1 of the MNP.

The tree losses on the site have largely been accepted as part of earlier applications and those additional trees lost would be mitigated via a revised landscaping scheme.

The drainage/flood risk implications for this proposed development are considered to be acceptable and will be dealt with as part of the conditions attached to the outline consent.

The proposed access point is acceptable and the traffic impact as part of this development has already been accepted. The internal design of the highway layout and parking provision is considered to be acceptable and complies with Policies SD1, SD2 and SE1 of the CELPS and INF3 of the SADPD.

The proposed development would comply with the Development Plan as a whole and as such is recommended for approval.

RECOMMENDATION

APPROVE with conditions

SITE DESCRIPTION

The site of the proposed development extends to approximately 15ha and is located to the south of Middlewich. The site forms part of allocation LPS45 of the CELPS.

The site is L-shaped, and to the north/north-east is residential development fronting Whatcroft Way, Stanthorne Place, Sproston Place and Wimboldsley Avenue. To the south and west is agricultural land.

To the east of the site is Warmingham Lane with a residential development under construction opposite the proposed vehicular access point.

The majority of the site is currently in agricultural use and there are a number of trees and hedgerow to the boundaries of the site. The site also includes a number of ponds.

PROPOSAL

This is a Reserved Matters application for 235 dwellings with appearance, landscaping, layout and scale to be determined at this stage.

The access point to serve the development was approved as part of the outline planning permission and is taken from Warmingham Lane to the east.

The proposed development would have the following housing mix;

- 12 x one bedroom dwellings
- 38 x two bedroom dwellings
- 91 x three bedroom dwellings
- 77 x four bedroom dwellings
- 17 x five bedroom dwellings

All units would be two-storeys in height apart from 4 bungalows within the site.

The development includes 10% affordable housing provision (24 units) as agreed as part of the S106 Agreement as part of the outline application 15/5840C (65% rented and 35% intermediate tenure).

RELEVANT HISTORY

23/1902C - Variation of hazardous substances consent 7/2007/CCC/16 – Approved 19th October 2023

21/0699C - Non-material amendment to 19/0782C - Full planning permission for the partial removal of an existing pipeline corridor and the creation of a new pipeline corridor diversion – Approved 21st April 2021

20/0594C – Non-material amendment on application 19/0782C - Full planning permission for the partial removal of an existing pipeline corridor and the creation of a new pipeline corridor diversion – Approved 2nd March 2020

19/0782C - Full planning permission for the partial removal of an existing pipeline corridor and the creation of a new pipeline corridor diversion – Approved 10th October 2019

18/3372W - Non material amendment to 13/1052W - Development of a pipeline corridor comprising of three pipes between the brine field at Warmingham and the salt factory at Middlewich and four pipes and a fibre optic cable link between the salt factory at Middlewich and the chemical works at Lostock; erection of a buffer tank at the Warmingham brine field; a buffer tank, pumping station and four settlement tanks used in the purification process at the salt factory at Middlewich; a pipe bridge crossing at the Rive Dane; a pumping station at Blue Slates Farm; two buffer tanks and a pumping station at the chemical factory, Lostock; and other associated ancillary development. – Approved 9th August 2018

18/2100W - Non Material Amendment to application 13/1052W – Approved 11th June 2018

18/1901W - Non-material amendment to planning application 13/1052W - Development of a pipeline corridor comprising of three pipes between the brine field at Warmingham and the salt factory at Middlewich and four pipes and a fibre optic cable link between the salt factory at Middlewich and the chemical works at Lostock; erection of a buffer tank at the Warmingham brine field; a buffer tank, pumping station and four settlement tanks used in the purification process at the salt factory at Middlewich; a pipe bridge crossing at the Rive Dane; a pumping station at Blue Slates Farm; two buffer tanks and a pumping station at the chemical factory, Lostock; and other associated ancillary development – Approved 11th June 2018

15/5840C - Outline planning permission for up to 235 residential dwellings (including up to 30% affordable housing), introduction of structural planting and landscaping, informal public open space, and children's play area, 0.22ha for a community facility (use class D1 or D2), surface water flood mitigation and attenuation, vehicular access point from Warmingham Lane and associated ancillary works. All matters to be reserved with the exception of the main site access. – Approved 30th January 2019

13/1052W - Development of a pipeline corridor comprising of three pipes between the brine field at Warmingham and the salt factory at Middlewich and four pipes and a fibre optic cable link between the salt factory at Middlewich and the chemical works at Lostock; erection of a buffer tank at the Warmingham brine field; a buffer tank, pumping station and four settlement tanks used in the purification process at the salt factory at Middlewich; a pipe bridge crossing at the Rive Dane; a pumping station at Blue Slates Farm; two buffer tanks and a pumping station at the chemical factory, Lostock; and other associated ancillary development. – Approved 15th October 2013

12/0185C - Prior Notification of Agricultural Development – Refused 3rd February 2012

10/3685W - Time Extension on Previous Application 7/2007/CCC/13 for Brine Extraction and Underground Gas Storage together with Gas Processing Plant, Pipelines, Link to National Gas Transmission System and Associated Infrastructure – Withdrawn 7th October 2011

CY/7/2007/CCC/13 - Brine extraction and underground gas storage together with gas processing plant, pipelines, link to National Gas Transmission System and associated infrastructure – Approved 1st October 2008

07/1464/CPO - Hazardous Substance Consent for the storage and processing of natural gas – Approved 10th July 2008

CY/7/2006/CCC/12 - To vary condition No 3 of planning permission ref 4/36367, 7/P00/0550 & 8/31257 which are related to the installation of cross country mains routed through properties between British Salt Limited's factory at Cledford, Middlewich and their Brinefield at Hill Top Farm, Warmingham, Crewe and Holehouse Farm, Minshull Vernon, Crewe. – Approved 20th December 2006

04/0347/OHL - Revision of application 35481/3 for overhead power line – No Objection 22nd December 2004

CY/7/P00/0550 - Underground mains to replace existing water, brine and mud (waste) pipes, plus provide additional pipes for water, brine, mud, gas, product, duct, electricity and telemetry cables between the Warmingham Brinefield and the Salt Factory at Middlewich – Approved 21st June 2002

NATIONAL & LOCAL POLICY

Cheshire East Local Plan Strategy (CELPS)

LPS45 – Land off Warmingham Lane West (Phase II), Middlewich

MP1 – Presumption in Favour of Sustainable Development

PG1 – Overall Development Strategy

PG2 – Settlement Hierarchy

PG7 - Spatial Distribution of Development

SC4 – Residential Mix

CO1 - Sustainable Travel and Transport

CO4 – Travel Plans and Transport Assessments

SC5 – Affordable Homes

SD1 - Sustainable Development in Cheshire East

SD2 - Sustainable Development Principles

SE 1 - Design

SE 2 - Efficient Use of Land

SE 3 - Biodiversity and Geodiversity

SE 4 - The Landscape

SE 5 - Trees, Hedgerows and Woodland

SE 6 – Green Infrastructure

SE 8 – Renewable and Low Carbon Energy

SE 9 – Energy Efficient Development

SE 13 - Flood Risk and Water Management

IN1 – Infrastructure
IN2 – Developer Contributions

Site Allocations and Development Policies Document

PG9 – Settlement Boundaries
GEN1 – Design Principles
ENV2 – Ecological Implementation
ENV3 – Landscape Character
ENV5 – Landscaping
ENV6 – Trees, Hedgerows and Woodland Implementation
ENV7 – Climate Change
ENV12 – Air Quality
ENV14 – Light Pollution
ENV16 – Surface water Management and Flood Risk
HOU1 – Housing Mix
HOU8 – Space, Accessibility and Wheelchair Housing Standards
HOU12 – Amenity
HOU13 – Residential Standards
HOU14 – Housing Density
HOU15 – Housing Density
HOU16 – Small and Medium Sized Sites
INF1 – Cycleways, Bridleways and Footpaths
INF3 – Highways Safety and Access
INF9 – Utilities
REC2 – Indoor Sport and Recreation Implementation
REC3 – Open Space Implementation

Middlewich Neighbourhood Plan

The local referendum for Middlewich Neighbourhood Plan was held on the 14 March 2019 and returned a 'no vote'

Moston Neighbourhood Plan

The Moston Neighbourhood Plan was made on the 11th November 2019 and forms part of the Development Plan.

HOU1 – Location of New Homes
HOU2 – Housing Mix and Type
LCD1 – Design and Landscape Setting
LCD2 – Dark Skies
INF1 – Utilities
INF3 – Surface Water Management
ENV1 – Wildlife Habitats, Wildlife Corridors and Biodiversity
ENV2 – Trees, Hedgerows and Watercourses.

National Policy

The National Planning Policy Framework establishes a presumption in favour of sustainable development.

Of particular relevance are paragraphs:

11. Presumption in favour of sustainable development.

50. Wide choice of quality homes

102-107 Promoting Sustainable Transport

124-132 Requiring good design

Supplementary Planning Documents

The EC Habitats Directive 1992

Conservation of Habitats & Species Regulations 2017

Cheshire East Design Guide

CONSULTATIONS

Environment Agency: No objection. General advice provided.

CE Flood Risk Manager: No objection in principle and further information will be required to discharge conditions 9 and 10 attached to the outline planning permission.

An informative is suggested relating to the ordinary watercourse on the site.

United Utilities: Condition suggested relating to the submission of a Sustainable Drainage Management and Maintenance Plan.

Informative suggested relating to UU infrastructure.

Cheshire Brine Subsidence Board: It is confirmed that the Cheshire Brine Subsidence Compensation Board (CBSCB) is in agreement in principle with the findings of the risk assessment incorporating the use of a combination of raft and 'cage' foundation solutions on the site.

CEC Education: No comments received.

Strategic Housing Manager: The application includes an affordable housing scheme that covers all that is required under the both the CELP and Housing Supplementary Planning Document (HSPD). No objection.

Natural England: No objection.

Health and Safety Executive: The HSE does not advise on safety grounds against the granting of planning permission in this case.

Archaeology: No archaeological implications. All recommended archaeological works for this site have been undertaken in previous applications and therefore there are no further outstanding elements of archaeological fieldwork required for this application.

Public Rights of Way (PROW): Pedestrian and cyclist routes should be designed and constructed to best practice in terms of shared use or segregated infrastructure, accessibility and natural surveillance.

The legal status, maintenance and specification of the proposed paths in the public open space of the site would need the agreement of the Council as the Highway Authority. If the routes are not adopted as public highway or Public Right of Way with the provision of a commuted maintenance sum, the route would need to be maintained for use under the arrangements for the management of the open space of the site.

The mown paths are likely to become worn and muddy. It is recommended that paths are finished in a resin bound surface.

Strategic Highways Manager: No objection.

Environmental Health: The following conditions are suggested;

- Implementation of the noise mitigation measures within the acoustic report
- Submission and approval of a Phase II Contaminated Land Report
- Submission of a Verification Report before occupation
- Importation of soils
- Unexpected contamination

Greenspaces on behalf of CEC: Offer the following comments;

- It is understood that accessible connections from this site through to the Morris site is proving difficult due to 3rd party ownership and mown connections on the Morris side. A level path is now provided alongside the NEAP into the adjacent site.
- With regards to the open space in the northwest of the site the applicant has stated the contours of the site restrict a circular route however it is not clear if this is in reference to the whole site beyond and around the SUDS basin? Would it be possible to create a circular accessible route around the southern section of POS as per the highlighted attachment using a resin bound gravel? This would not give complete accessibility but would greatly improve routes for those with less mobility. In the event this cannot be achieved, the applicant has offered to surface approximately 30m into the northwest of the open space and create a seating/viewing area which is most welcomed. The seating area in the community space should be on hard standing accessible surface and could contain a picnic area to enjoy the views.
- With regards to the NEAP. Discussions have taken place and are at an early stage. However, it is understood the surrounding play facilities such as Morris, Bellway, Taylor Wimpey and CEC will be taken into account the aim being to complement not duplicate as much as possible. The heritage of Middlewich will also be considered through the salt mining and canals importance where possible.
- Planting details (Planting Plan 7 of 10) are acceptable for the community orchard.

VIEWS OF THE PARISH COUNCIL

Middlewich Town Council: Object to the application on the following grounds;

- No new development shall take place in the Town without improvements to infrastructure including doctors, dentists and school provision
- More traffic on the roads. Increased congestion and impact upon air quality
- Lack of local facilities within walking distance of the site.
- The affordable housing officer has objected to the affordable housing mix proposed.
- Potential proximity to the wet rock head. Potential for natural ground dissolution.

- It is proposed to site the house on rafts, is this adequate mitigation? There should be no piles used as support
- Is there a requirement to re-route overhead electricity cables?
- What are the consequences of the brine main? A further survey must take place
- The contaminated land report identifies potential sources of contamination.

Moston Parish Council: Whilst accepting that the application for 235 houses was approved, the Parish Council's original concerns are yet to be addressed, which are as follows:

- Traffic on Moston Lanes continues to increase at an alarming rate. A condition for funding of the re-surfacing of Dragons Lane, speed restrictions and improved signage at the junctions of Warmingham Lane with Dragons Lane, Dragons Lane with Whitehall Lane and Dragons Lane with Tetton Lane, remains outstanding.
- Tetton Lane traffic has increased considerably since the application was approved. The increase will continue on this narrow, subsidence ridden lane, more so when the Middlewich Eastern Bypass eventually opens and the 450 houses on Glebe Farm begin occupation. The Parish Council considers that it is now appropriate to impose a sensible speed limit on Tetton Lane.
- A traffic management scheme applied by Seddon Housing during the building of 84 houses on the opposite of Warmingham Lane worked well and the Parish Council would expect a similar scheme to be adopted during the building of the 235 houses.
- The Parish Council wishes to strongly recommend that all construction traffic must access the site directly from Both Lane A533. No construction traffic to use Warmingham Lane which is south of the site.

REPRESENTATIONS

Letters of objection have been received from 12 households raising the following points:

- The application has changed since the original outline application which was to leave the field opposite 5 Sproston Place as a green open space
- The application site carries pipelines for the salt works. There should be no construction over the pipeline.
- The plan should provide like for like houses as provided on the adjacent site
- Impact upon outlook
- Increased traffic together with the Seddon site under construction
- Concerns over highway safety (including pedestrians and cyclists)
- No consultation took place as part of the outline planning application
- This site was not flagged up on searches when purchasing their property
- The Councils website GIS did not accurately show the location of the outline application.
- Size, bulk, scale, design and form of the houses is visually intrusive
- Harm to the character and appearance of the rural landscape
- Overlooking and loss of privacy
- The proposed dwellings have side/rear elevations facing the adjacent dwellings to the north. Harm to outlook.
- Impact upon property value
- Lack of parking for the proposed dwellings
- Object to the provision of a walkway linking into the Morris estate (there is no pavement on Sproston Place)
- There should be further planting along the perimeter of the site
- Middlewich infrastructure cannot accommodate these additional dwellings

- Increased traffic congestion
- Mud and vehicles on Warmingham Lane from the Seddon development
- Warmingham Lane will be closed for weeks whilst the pipeline is diverted
- Impact upon wildlife and protected species
- The trees on the site should be protected
- There is no need for further housing in Cheshire East or Middlewich
- There is no capacity at local schools
- There is no post service provided Wednesday to Saturday so how will the new homes be catered for?
- Brownfield sites should be developed first
- Speeding vehicles along Warmingham Lane
- The Oakwood Estate cannot handle any further foot fall
- The brine lines across the site cannot be built upon
- When dwellings were purchased on the adjacent site, residents were told that this site could not be built upon
- The developer is building on land previously identified as open space
- Impact upon mental health
- Outlook onto a carpark
- The proposed dwellings are side onto those which front Sproston Place
- Obstruct views of the countryside
- The layout will encourage people to walk over a wet/boggy area of the adjacent site to access the play area
- The HSE are objecting to the application
- Brownfield sites should be developed first
- Loss of trees within the development
- Concerns due to brine subsidence
- Affordable housing is not in keeping with the neighbouring dwellings
- Impact upon Great Crested Newts
- Not clear how the farm access will be maintained
- More landscaping is required between the two estates
- 11 Oak trees are to be felled
- Larger green space is required between both developments
- Warmingham Lane should be resurfaced
- Noise from construction on the site
- Affordable housing is not distributed evenly across the site
- The Councils Landscape Architect has objected to this application
- Overdevelopment and population increase in Middlewich. Impact upon infrastructure
- Increased congestion
- Increased strain of the environment and green spaces (including loss of biodiversity).
- There should be meaningful dialogue with the local community.

APPRAISAL

Principle of Development

A number of representations raise issues relating to the principle of development. However, the principle of development has been accepted following the approval of application 15/5840C. The site is also allocated for development as part of LPS45 within the CELPS. This application

is to consider the appearance, landscaping, layout and scale of the proposed development only.

The S106 Agreement completed as part of the outline application includes a contribution of £1,223,645 towards the provision of the Middlewich Eastern Relief Road. Should the Middlewich Eastern Bypass not come forward the money can be spent on either affordable housing and/or education provision as detailed within the S106 Agreement.

Housing Mix

Policy SC4 of the submission version of the Local Plan requires that developments provide an appropriate mix of housing (however this does not specify a mix). In this case the development would provide the following mix:

- 12 x one bedroom dwellings
- 38 x two bedroom dwellings
- 91 x three bedroom dwellings
- 77 x four bedroom dwellings
- 17 x five bedroom dwellings

All dwellings would be two-storeys in height apart from 4 bungalows within the site. The development proposes 10% affordable housing (65% rented and 35% intermediate tenure).

Policy HOU1 of the SADPD states that housing development should deliver a range and mix of house types, sizes and tenures. All major developments should respond to housing need, and this includes the indicative house types and tenures and sizes identified at Table 8.1. In this case the requirements of policy HOU1 are overridden by condition 27 attached to the outline planning permission which specifies the housing mix for the proposed development and states as follows;

Each phase of the development hereby approved shall incorporate a mix of units of;

- 1 bed and/or 2 bed dwellings between 10% and 30% of the number of dwellings
- 3 bed dwellings between 20% and 40% of the number of dwellings
- 4 bed and/or 5 bed dwellings between 20% and 40% of the number of dwellings

and a minimum of 5 % of the units shall be bungalows or units for single storey living.

The proposed development provides the following mix;

- 1 - 2 bed units – 21.3% of the number of dwellings
- 3 bed units – 38.7% of the number of dwellings
- 4 – 5 bed units – 40% of the number of dwellings
- The 8 ground floor apartments and 4 bungalows equate to 5.1% of the number of dwellings

In terms of dwelling sizes, it is noted that HOU8 of the SADPD requires that new housing developments comply with the Nationally Described Space Standards (NDSS). The applicant has provided details to show that the proposed house types are all NDSS compliant.

Policy HOU8 of the SADPD states that for major developments:

- a. at least 30% of dwellings in housing developments should comply with requirement M4 (2) Category 2 of the Building Regulations regarding accessible and adaptable dwellings; and

b. at least 6% of dwellings in housing developments should comply with requirement M4 (3)(2)(a) Category 3 of the Building Regulations regarding wheelchair adaptable dwellings.

The applicant has confirmed that the requirements of Policy HOU8 will be met and this would be controlled via the imposition of a planning condition in the event of an approval.

This is a Reserved Matters application, and the housing mix complies with that secured as part of condition 27 attached to the outline planning permission. The development also complies with the requirements of policy HOU8 of the SADPD in terms of space, accessibility and wheelchair housing standards.

Affordable Housing

The S106 Agreement completed as part of the outline application requires 10% of the housing on the site to be affordable (65% rented and 35% intermediate tenure).

The mix shown on the submitted plans identifies that the following affordable units will be provided as part of this proposed development;

- 8 x one bedroom units
- 12 x two bedroom units
- 4 x three bedroom units

The Head of Strategic Housing has confirmed that they have no objection to the proposed mix of 24 units which equates to 10% of the units on the site. The proposed location of the affordable units is acceptable as they are provided in 6 groups within the development. The application is acceptable in terms of its affordable housing provision.

Public Open Space

Condition 13 attached to the outline planning permission requires that the Reserved Matters application includes a NEAP (Neighbourhood Equipped Area of Play) including a minimum of 8 pieces of equipment for all ages and comprise a minimum area of 1000sq.m.

The layout shows that that the proposed development would provide a significant amount of open space. This open space will provide a number of functions such as for recreation, ecology, landscaping and drainage. The amount of POS on this site is considered to be acceptable and no objection is raised from the POS Officer.

The location of the NEAP is shown on the proposed plan and the POS Officer has confirmed that she has no objection to the location of the NEAP or its design.

The Councils POS Officer has requested some amendments in the form of footpath changes. These have been provided and are considered to be acceptable.

The management of the POS would be secured as part of a management company secured as part of the outline consent.

Education

The impact upon education infrastructure was considered as part of the outline planning permission. In this case no contribution for education was secured due to viability issues associated with the outline application and preference was given to securing other mitigation in the form of 10% affordable housing, and a Middlewich Bypass contribution (£1,223,645).

However, should the Middlewich Bypass not come forward within a reasonable time frame the contribution could be spent towards education provision and/or affordable housing.

NHS

The concerns raised in relation to the impact upon health care infrastructure are noted. However, no contribution was secured as part of the outline consent and contributions were prioritised for other mitigation (the Middlewich Bypass).

Location of the site

The site was found to be locationally sustainable as part of the outline application.

Residential Amenity

Policy HOU13 of the SADPD identifies the following separation distances;

- 21 metres for typical rear separation distance (24m plus 2.5m per additional storey)
- 18 metres for typical frontage separation distance (20m for three-storey buildings)
- 14 metres for a habitable room facing a non-habitable room (the addition of 2.5m per additional storey)

The properties impacted by this development are those to the north which front Sproston Place, Stanthorne Place and Whatcroft Way. Due to the provision of a linear parcel of open space along the relevant boundary the required separation distances would be exceeded. The shortest separation distance would be from No 1 Whatcroft Way which has 4 windows facing the site (dining room and secondary lounge at ground floor level; bedroom and en-suite at first floor level) and the dwelling on plot 235 (which has windows at ground floor serving a family room, living room and breakfast room, with two secondary bedroom windows at first floor), the separation distance would be 18.5m and would exceed the typical frontage separation distance stated in policy HOU13.

All other separation distances would exceed 24.5m and the development would not harm residential amenity and would comply with policies HOU12 and HOU13 and LCD1 of the MNP insofar as it relates to residential amenity.

Levels

Condition 11 attached to the outline planning permission requires details of the existing ground levels, proposed ground levels and the level of proposed floor slabs to be submitted as part of the first Reserved Matters application.

The applicant has submitted details of the existing and proposed floor levels. These are comparable and given the separation distances involved there would be no harm to residential amenity.

Impact from Construction Disturbance

This issue will be dealt with as part of the condition imposed as part of the outline planning permission (7 – Construction Management Plan).

Noise

Condition 6 attached to the outline planning permission requires the submission of a scheme of acoustic mitigation and this has now been approved as part of application 23/3118D.

As part of this Reserved Matters application a Noise Impact Assessment has been submitted with the application and this recommends ventilation details for certain plots along the Warmingham Lane frontage.

Air Quality

The issue of air quality was considered as part of the outline application and conditions were imposed in relation to electric vehicle charging (condition 12), travel plan (condition 17) and dust management (included within the CMP condition 7).

Contaminated Land

The issue of contaminated land was considered as part of the outline application and conditions 8 and 28 have been attached in relation to this issue.

Lighting

Policy LCD2 of the MNP states that future outdoor lighting systems should have a minimum impact on the environment, minimising light pollution and adverse effects on wildlife. In this case lighting could be controlled via the imposition of a planning condition.

Highways

The letters of objection raising concerns over the points of access and traffic generation are noted. However, these details were approved as part of the outline application.

In terms of the highway impact the outline application for this development secures a substantial contribution of £1,223,645 towards the delivery of the Middlewich Eastern Bypass.

Condition 17 attached to the outline planning permission requires the submission of an Umbrella Travel Plan with the Reserved Matters application. This has now been approved as part of application 23/3118D.

The access carriageway is 5.5m wide with 2m footways on both sides, and this arrangement continues along both spine roads that run in an east/west direction through the site. The

northernmost spine road is also 5.5m wide but with no footway on the southern side of it where no development fronts onto it. Off these spine roads the carriageway reduces where shared surfaces are introduced, followed by narrower shared private drives serving a small number of properties. The road hierarchy and carriageway and footway proposals are considered sufficient for this scale of development.

The site layout also includes a number of raised tables along the spine roads which will assist in managing vehicle speeds. There is a pedestrian connection to the site boundary to the northeast of the site and one adjacent to the play area in the centre.

The parking provision within the site is to CEC requirements including the secured and lockable cycle parking provided for the apartments, and bin collection points and turning areas are also acceptable.

The development complies with policies SD1 and CO2 of the CELPS and INF3 of the SADPD.

Trees and Hedgerows

Condition 20 attached to the outline planning permission requires that the Reserved Matters application be supported by a tree/hedgerow protection scheme.

An updated Arboricultural Statement has been submitted in support of this application. The Statement considers the most recently submitted site layout plan, the topographical survey drawings and documents associated with the outline permission, partial removal of an existing pipeline (App 19/0782C) and creation of a pipeline corridor diversion (App 21/0699C).

The Statement identifies 58 individual trees, 6 tree groups and 11 hedges within or immediately adjacent to the site. Under BS5837:2012 tree quality categorisation, three trees are identified as high (A) category; 41 individual trees and 3 groups as moderate (B) category; 10 individual trees and one group as low (C) category and 4 trees that are unsuitable for retention.

The trees within and immediately adjacent to the site are currently not protected by a Tree Preservation Order or located within a designated Conservation Area. There are no trees that have been identified as having Ancient or Veteran status. These trees could be removed without consent.

Trees T12, T13 and T21 (B category) and T25-T27 (C category) were identified as anticipated losses under the outline application (15/5840C) as were several sections of hedgerow (identified as H1, H2, H4, H6, H7 and H9). Trees T2, T6, T12, T15 and T16 (B category); T7, T13 and T14 (C category) and T25-T27(U category) including sections of Hedgerows H1, H2 and H4 were agreed for removal under applications 19/0782C and 21/0699C.

Section 8 of the Statement assesses and reports on the arboricultural implications of the proposed development arising as a consequence of subsequent revisions to the design. It is noted that five additional, moderate (B) category Oak trees (T4, T5, T10, T27 and T28) are proposed to be removed to accommodate Plots 12, 27, 73, 85, and one tree within Group G3/1 to accommodate a turning area opposite Plot 136. The Council would normally seek to retain Category B trees where possible within development in accordance with BS5837:2012 and Policy SE 5.

Whilst some trees were shown to be lost at the application stage, an additional 5 (B) category trees will now require removal. In accordance with Policy SE 5, development must seek to avoid the loss of trees that make a significant contribution unless there are clear overriding reasons and there are no suitable alternatives. If the loss is unavoidable then development proposals must satisfactorily demonstrate a net environmental gain by appropriate mitigation, compensation or offsetting as part of the landscape proposals. It should be noted that the Arboricultural Statement does not deal with whether there were any suitable alternatives to the design of the layout that would have avoided the loss of trees. However, the trees are not protected and could be removed without consent, the proposed development does provide 140 high canopy trees out of a total of 293 trees. Subject to the additional planting required as part of the landscape consultation response (discussed below), it is considered that the proposed replacement planting would mitigate the harm caused.

Revised Planting Plans have been submitted in support of the application which shows around 293 trees proposed to be planted which is an increase over previous plans.

The Arboricultural Statement identifies 11 hedgerows within the site. The outline application and pipeline diversion identified the loss of sections of six hedgerows; two of which are deemed important under the Hedgerow Regulations.

Should planning permission be recommended for approval, a tree protection plan should be secured, and this could be done via the imposition of a planning condition.

On balance the proposed development is considered to be acceptable and would comply with Policy SE5 of the CELPS, ENV6 of the SADPD and ENV2 of the MNP.

Design

The importance of securing high quality design is specified within the NPPF and Policies SE1, SD1 and SD2 of the CELPS, GEN1 of the SADPD and the Cheshire East Design Guide.

In particular, development proposals should consider the wider character of a place in addition to that of the site and its immediate context, to ensure that it reinforces the area in which it is located. These principles are echoed by Moston NP Policy LCD1 and also reflected in the CEC Design Guide and the "Building for a Healthy Life Framework" (BHL). The Council's Design Officer has undertaken an assessment of the application using the BHL framework which is reflected in the commentary below. BHL uses a traffic light system, with the aim of eliminating reds, whilst maximising the number of greens.

During the course of the application the site layout has been amended following discussions with the Councils Urban Design Officer.

Design Code

Condition 4 of the outline planning permission requires the first reserved matters to incorporate a detailed masterplan and design code which deals with the whole site.

A detailed Design Code has been provided as part of this application and this has been revised following consultation with the Councils Urban Design Officer.

Following the receipt of the amended Design Code the Councils Urban Design Officer has stated that the improvements made are welcomed and that this has resulted in the identification of appropriate character areas. The character areas (inner and outer) are simple, with uncluttered architecture utilising a suitably limited.

The use of a suitable brick with areas of render with quoins in the central area, along with the double brick heads and stone cills to the windows, the addition of some protruding gables to the front and chimneys on the re-elevated house-types are all suitable responses to local cues.

Similarly, with regard to the landscape design and public realm, the coding process has improved the development, but further improvements can be secured (see the landscape section below).

Natural Connections

There have been a number of positive changes that improve the connectivity across the layout. The most important of these is the connection to the main spine road creating a loop within the development.

The improved footpath links to the north increase connectivity to the existing housing and to Warmingham Lane and Middlewich town centre.

The series of mown paths around the POS are welcomed too, and if effectively maintained these will provide a number of alternative pedestrian routes through and around the development.

Overall, whilst the fundamental lack of connectivity with neighbouring development cannot be overcome, much has been done to improve internal links and this is now acceptable. An amber score is awarded.

Walking, Cycling and Public Transport

As noted above the lack of connectivity with neighbouring development cannot be overcome, much has been done to improve internal links and this is now acceptable. Connections are provided to the north onto Warmingham Lane and the adjacent residential development. An amber score is awarded.

Facilities and Services

A well-equipped and suitably located NEAP, attractive POS with Community Orchard, Community Space, Community Land and network of footpaths would be provided as part of this residential scheme. Access to all other facilities and services would require leaving the site and heading north into Middlewich (there is a public house, local supermarket, takeaways, pharmacy and post office approximately 650m to the north of the site on Warmingham Lane). The application site was considered to be sustainably located at the outline stage. A amber score is awarded.

Homes for Everone

As discussed within the housing mix and affordable housing sections above, the outline planning permission provides a condition in terms of the housing mix whilst the level of affordable housing is specified within the agreed S106 Agreement.

The affordable housing provision is tenure-blind and there is effective pepper-potting across the site. On this basis a green score is awarded.

Making the most of whats there

The site is relatively flat, although levels do drop to the north-west of the site. The site makes best use of the existing levels. Although there are tree/hedgerow losses they are associated with the applications to divert pipelines on the site. The other trees/hedgerows and ponds would be retained as part of the proposed development.

The site includes outward facing perimeter blocks to all boundaries of the site, and there is open space buffers provided to the Warmingham Lane frontage and the existing dwellings which adjoin the site. A green score is awarded.

A memorable character

As noted above, the applicant has produced a Design Code in support of the application and this provides a comprehensive assessment of the local character study of the nearby settlements of Middlewich, Church Minshull and Warmingham amongst others. The Design Code also references the CEC Design Guide and the relevant Character Area of 'Salt and Engineering Towns'.

The development includes two specific character areas, the outer character area and the inner character area. The rural character area reflects the rural edges of the site through traditional features such as window leading, footers and render for gables, whilst the inner character area is largely simpler. Between both character areas there are variations in detailing such as chimney, window and porch design. As a result a green score is awarded.

Well defined streets and spaces

This has clearly been designed in line with both guidance contained in Building for a Healthy Life and the Cheshire East Borough Design Guide. There is a clear and legible perimeter block arrangement with a continuity of street frontages, front doors facing the street and a well-defined relationship between public and private space. Public open space is both well located and well-overlooked, houses turn corners and there are strong internal vistas. As a result, a green score is awarded.

Easy to find your way around

There are a series of character areas across a layout consisting of perimeter blocks, meaning that the proposals are internally well-connected and legible. This is supported by a well-defined hierarchy of streets framed by buildings. Houses turn corners, providing surveillance and focal houses are located at key locations such as the termination of vistas and serve to aid the legibility.

There would be a network of open space within the running through the development. The NEAP is centrally located and overlooked and although a large section of the open space is located to the north-west of the site it would be overlooked by existing dwellings and those proposed to the north-west. A green score is awarded.

Healthy streets

The proposal adopts a simple and legible hierarchy which is in line with the guidance set out in the CEBDG.

With regards to hard surfacing materials, the site is located within the *Salt and Engineering Towns* character area and submitted details are considered to be acceptable. A green score is awarded.

Cycle and car parking

The car parking strategy is mixed comprising in-curtilage bays to the front and side and a number of small parking courtyards. All car spaces are close to homes and well-overlooked and parked cars would not dominate the streetscape.

Condition 29 of the outline planning permission requires that the Reserved Matters provides a detailed scheme showing the design, location and size of a bin store and bike store for each dwelling. This is identified on the proposed plans. A green score is awarded.

Green and blue infrastructure

The proposed development includes extensive areas of green infrastructure running through the site and to the north-west of the site. In terms of blue infrastructure, the two existing ponds would be retained within the development (within areas of open space), as would the stream to the northern corner of the site.

There would be some tree losses within the development, but the majority of these had been accepted for removal as part of applications 19/0782C and 21/0699C to alter the pipelines crossing the site, and as part of the outline planning permission. The additional losses would be mitigated as part of the proposed development.

The proposal retains the sites remaining tree and integrates these into the green infrastructure network. Key areas of POS, including a NEAP are both well located and well overlooked. The attenuation basin is integrated as a landscape feature. The community orchard is located at the entrance to the large parcel of POS to the north. Footpath links would run through the network of POS within the development.

The green and blue infrastructure proposals are positive and a green score has been awarded (this is subject to the improvements being secured via the proposed landscape condition).

Back of pavement, front of home

The scheme includes a good use of landscape design (subject to amendment), materials (subject to the replacement of the buff brick and a greater reliance on grey tiles) and boundary treatments, which provides a clear delineation between private, semi-private and public space. Each dwelling

has access to rear gardens without going through the home, so refuse and recycling bins can be stored within the rear garden. There is also a welcome lack of 'left-over' spaces that can so often despoil a place. Overall, the back of pavement and front of home is handled effectively, and a green score is awarded.

Design conclusion

The role played by the detailed design coding process and guidance including the Cheshire East Design Guide is evident. This Reserved Matters residential application is considered and well-designed.

It should be noted that there are no red scores and that the only amber scores awarded are in respect of Criteria 1, 2 & 3. These are effectively legacy issues, as a result of the constraints of the site and the less than perfect connections established by the earlier outline permission. It is considered that in design terms the application complies with Policies; SE1, SD1 and SD2 of the CELPS, GEN1 of the SADPD, Policy LCD1 of the MNP and the Cheshire East Design Guide SPD.

Landscape

The principle of residential development has been established and the change in the character of the site has to be expected.

The application includes a detailed landscaping scheme and the proposal has been assessed by the Councils Landscape Architect. The Councils Landscape Architect advises that improvements could be made to the landscape design on this site, and this would require some 'tweaking' of the plans. These amendments could be secured without any alterations to the layout of the housing development on the site and as such it is considered that these changes could be secured via the imposition of a planning condition.

The changes suggested by the Landscape Architect include:

- The provision of additional large canopy Oak trees within the Warmingham Lane frontage open space.
- Additional softening of the streets through additional planting and tree planting
- Further consideration of the street tree hierarchy within the CEC Design Guide.
- The mown footpath could benefit from better connections to more streets.
- More dramatic planting and tree designs to the inner estate crossroads.
- Reduction in the amount of timber knee rails to the open space.
- Potential for public art within the open space on site.
- Slight redesign and improvement of the northern public open space.
- The correction of some minor errors on the landscape plans.

Overall, it is considered that improvements could be made to the landscape design for this development. These changes can easily be secured via the imposition of a landscape condition, and subject to this condition the proposed development would comply with Policies SE1 and SE4 of the CELPS, ENV3 and ENV5 of the SADPD and LCD1 of the MNP.

Ecology

Condition 14 All reserved matters applications shall be supported by an updated protected species impact assessment and mitigation strategy.

A number of updated protected species surveys and a mitigation strategy has been submitted as required by this condition. These submissions raise the following ecological issues:

Great Crested Newts

This protected species was recorded at a number of ponds both on and off site. As anticipated at the time that outline consent was granted the proposed development would result in a significant adverse impact upon this species as a result of the loss of terrestrial habitat and the risk of animals being killed or injured during the construction phase.

The EC Habitats Directive 1992 requires the UK to maintain a system of strict protection for protected species and their habitats. The Directive only allows disturbance, or deterioration or destruction of breeding sites or resting places:

(a) in the interests of public health and public safety, or for other imperative reasons of overriding public interest, including those of a social or economic nature and beneficial consequences of primary importance for the environment, and provided that there is

(b) no satisfactory alternative and

(c) no detriment to the maintenance of the species population at favourable conservation status in their natural range

The UK has implemented the Directive in the Conservation (Natural Habitats etc) Regulations 2010 (as amended) which contain two layers of protection (i) a requirement on Local Planning Authorities ("LPAs") to have regard to the Directive's requirements above, and (ii) a licensing system administered by Natural England and supported by criminal sanctions.

Policy SE 3 of the CELPS states that development which is likely to have a significant impact on a site with legally protected species will not be permitted except where the reasons for or the benefits of the development outweigh the impact of the development.

Circular 6/2005 advises LPAs to give due weight to the presence of protected species on a development site to reflect EC requirements. "This may potentially justify a refusal of planning permission."

The NPPF advises LPAs to protect and enhance biodiversity: if significant harm resulting from a development cannot be avoided (through locating on an alternative site with less harmful impacts) or adequately mitigated, or as a last resort, compensated for, planning permission should be refused.

Natural England's standing advice is that, if a (conditioned) development appears to fail the three tests in the Habitats Directive, then LPAs should consider whether Natural England is likely to

grant a licence: if unlikely, then the LPA should refuse permission: if likely, then the LPA can conclude that no impediment to planning permission arises under the Directive and Regulations.

In terms of the Habitat Directive tests;

- The proposed development is of overriding public interest. The site is allocated for residential use (as explained above) and has outline planning permission. On this basis there are overriding reasons of overriding public interest and the development would provide much needed housing development in Middlewich
- There is no satisfactory alternative and the site already has outline planning permission and is allocated for development.
- The applicant has expressed an intention to enter the development into Natural England's District Level licencing scheme. The Councils Ecologist advises that entry into the licencing scheme would be sufficient to address the adverse impacts of the proposed development on great crested newts and maintain the favourable conservation status of the species. This means that there would be no detriment to the maintenance of the species population at favourable conservation status in their natural range.

As a result, the proposed development would be comply with the relevant policies of the Development Plan in terms of the impact upon protected species.

The applicant must however submit a signed copy of the 'Impact Assessment and Conservation Payment Certificate' from Natural England as evidence that the development is eligible to join the DLL scheme. The agent has confirmed that this has taken, and details will be provided prior to the Committee meeting.

Lesser Silver Diving Beetle

This protected and priority species was recorded at a pond (pond 3) on site. The pond would be retained as part of the development. However, changes in land use around the pond is likely to reduce its suitability for this species potential resulting on a significant adverse impact. The pond may also be at risk of damage or disturbance during the construction process.

The submitted lesser silver diving beetle survey report includes outline proposals for the on-going management of the pond, and these are included in the submitted Ecological Mitigation Strategy and also the revised habitat management plan submitted under condition 25.

The submitted ecological mitigation strategy includes proposals for the fencing-off of the ponds during the construction phase.

The revised landscape plan shows the retention of the pond in an area of more species rich grassland. If reserved matters consent is granted a planning condition is required to secure the implementation of the submitted Ecological mitigation strategy. The application is considered to be acceptable in terms of the impact upon Lesser Silver Water Beetle.

Water courses

There is a stream adjacent to the boundary of the site in the northern corner. The submitted mitigation strategy refers to this being safeguarded by means of a buffer and safeguarded through the installation of a silt fence.

Common Toad

This priority species was recorded at ponds outside the application site boundary. The proposed development would have an adverse impact on this species as a result of the loss of an area of relatively low value terrestrial habitat for this species. The submitted ecological mitigation strategy advises that the SUDS basin on site be designed to hold a depth of permanent open water to provide an additional alternative breeding habitat for this species.

This matter may be dealt with by means of a condition in the event that planning consent is granted.

Other Protected Species

No setts were recorded during the latest survey. There was some evidence of activity recorded on the boundary of the site. The Councils Ecologist has confirmed that acceptable proposals have been included to minimise the risk to badgers, as such the proposed development will result in a minor impact upon badgers as the result of the loss of suitable foraging habitat.

Bats

A further bat survey of trees proposed for removal as part of the development has been submitted. Two potential features were not able to be inspected during the survey. One due to heath and survey constraints and the other feature being occupied by other wildlife during the survey. There remains a risk that roosting bats may have remained undetected, but considering the number of features not inspected during the survey this risk is likely to be relatively low. None of the trees on site supported features of HIGH value for roosting bats.

The Councils Ecologist advises that a reasonable amount of survey effort has been undertaken in respect of roosting bats at this site.

No evidence of roosting bats was identified during the submitted survey. Bat roosts in trees are often extremely difficult to detect. In this instance the submitted report advises that whilst no evidence of roosting bats was recorded during the submitted surveys, due to the transient nature of bat roosts in trees it cannot be concluded that bats would not roost within the trees at some point in the future.

Based upon the available evidence roosting bats would not be affected by the development. However, if planning consent is granted, a condition could be attached to require the submission of a further survey before works commence.

Hedgehog

There are no historical records of this priority species in the vicinity of the application site, the submitted ecological assessment however concludes that the species may occasionally occur on site. The incorporation of gaps under fences to facilitate the movement of this species through the site is required under condition 24.

Hedgerows

Native hedgers are a priority habitat and hence a material consideration. Hedgerows 2 and 12 on site were identified as being Important under Hedgerow Regulations during the determination of the outline application. The loss of sections of Important hedgerow was anticipated at the outline stage, the submitted Tree Report also identifies the loss of sections of a number of other hedgerows as a result of the proposed development. Relatively limited native hedgerow planting is proposed as part of the submitted landscaping scheme and the proposed development, and so the development is likely to lead to an overall loss of hedgerow biodiversity. The landscape scheme includes an appropriate level of replacement native species hedgerows.

Bat and Bird Box provision

The submitted mitigation strategy includes proposals for the incorporation of a number of bat and bird boxes.

Lighting

A detailed lighting scheme has been submitted with this application. The revised lighting proposals are now considered to be acceptable.

Condition 24 Gaps for hedgehogs to be incorporated into all garden or boundary fencing/walling proposed within the site.

Acceptable proposals under this condition have been submitted.

Condition 25 A habitat management plan shall be submitted to and approved by the local planning authority

As, detailed above the submitted management plan includes details of how the retained pond would be managed for lesser silver diving beetle. The submitted habitat management plan is acceptable.

Ponds

The submitted hydrological assessment of the ponds highlights a reduction in the catchment for the ponds as a result of the proposed development, which will result in the lowering of the water levels within the ponds. This effect can be mitigated through the diversion of rainwater to the ponds from the roofs of the adjacent proposed dwellings. In the event that reserved matters consent is granted a condition can be attached which requires submission of a scheme for the diversion of rainwater to the existing ponds. The scheme would need to be supported by evidence on the volume of water required to maintain the current water levels in the ponds and a detailed explanation of how the required volume of water would be provided.

Hazardous Installations

Part of the site is located within the outer zone of a hazardous installation and the site frontage to Warmingham Lane is located within the inner zone of a hazardous installation.

The hazardous installation is identified on the HSE maps has now been varied following the approval of application 23/1902C. The line of the hazardous installation pipeline has been amended and the inner zone is confined to the site frontage with Warmingham Lane. No dwellings are proposed within the inner zone, only within the outer zone. The HSE has now assessed the application and has confirmed that the does not advise against the granting of planning permission on safety grounds.

Flood Risk

The application site is located within Flood Zone 1 (low probability of river/tidal flooding) according to the Environment Agency Flood Maps. A Flood Risk Assessment (FRA) was submitted as part of the outline application.

The impact of the development in terms of drainage was considered as part of the outline application and condition 9 requires a scheme to limit the surface water run-off generated by the development and condition 10 requires the detailed design and associated management and maintenance plan for the surface water drainage.

The Councils Flood Risk Team has been consulted as part of this application and have raised no objection in principle whilst United Utilities have raised general comments only. As a result, the development is considered to be acceptable in terms of its flood risk/drainage implications and the drainage scheme will be considered as part of the discharge of conditions 9 and 10 attached to the outline consent.

Renewable Energy

In support of this application, the applicant has advised that each dwelling will be provided with an air source heat pump. This will be secured via the imposition of a planning condition and will help to reduce the environmental impact of the development as well as energy bills for the future occupiers.

Community Facility

The outline application makes reference to a community facility within the site. This was restricted to use classes D1 (non-residential institutions – clinics, health centres, nurseries, schools church halls etc) and D2 (assembly and leisure – cinema, music halls, swimming baths, indoor or outdoor sport/recreation), both use classes have now been replaced.

The completed S106 Agreement identifies that the community facility land shall be no less than 0.22 hectares (the proposed site plan shows that it would measure 0.22 hectares).

The S106 identifies that the community facility land shall be reserved for a period of 5 years from the commencement of development. At the written request of the Council between the commencement of development and a period of 5 years thereafter, the community facility land shall be transferred to the Council, or a party nominated by the Council.

Brine Subsidence

Condition 15 attached to the outline planning permission requires the foundation design to be submitted and approved. These details have now been approved as part of application 23/3118D following no objection from the Brine Board.

Phasing

Condition 22 attached to the outline planning permission requires phasing details for the whole development to be submitted with the first reserved matters application. This has been provided and is considered to be acceptable.

CONCLUSION

The principle of development has already been accepted as part of the outline approval on this site.

The development will not have a detrimental impact upon residential amenity and would comply with Policies HOU12 and HOU13 of the SADPD.

The design of the proposed development has been the subject of revised plans and is now of an acceptable design. The design complies with Policies SE1 and SD2 of the CELPS, GEN1 of the SADPD, the CEC Design Guide and LCD1 of the Moston NP.

The POS is considered to be acceptable and would be a benefit to this scheme.

The proposed landscaping scheme does require some minor improvements, and this could be secured via the imposition of planning conditions. The development is acceptable in terms of its impact upon ecology and would comply with Policies SE1, SE3 (Biodiversity and Geodiversity), SE4, SE5 and SE6 of the CELPS, ENV1, ENV2 and ENV5 of the SADPD and Policies ENV1 and LCD1 of the MNP.

The tree losses on the site have largely been accepted as part of earlier applications and those additional trees lost would be mitigated via a revised landscaping scheme.

The drainage/flood risk implications for this proposed development are considered to be acceptable and will be dealt with as part of the conditions attached to the outline consent.

The proposed access point is acceptable and the traffic impact as part of this development has already been accepted. The internal design of the highway layout and parking provision is considered to be acceptable and complies with Policies SD1, SD2 and SE1 of the CELPS and INF3 of the SADPD.

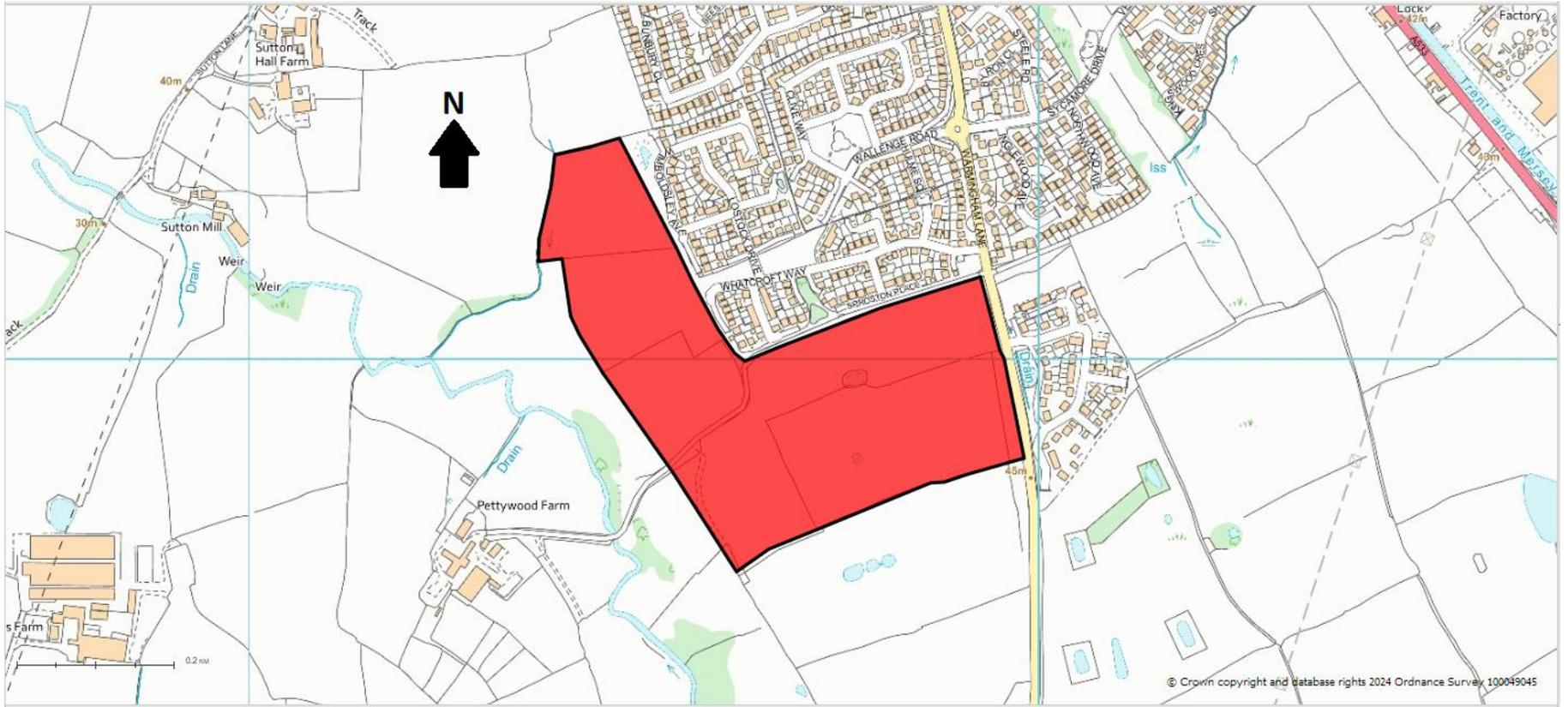
The proposed development would comply with the Development Plan as a whole and as such is recommended for approval.

RECOMMENDATION:

APPROVE subject to the following conditions;

1. Approved plans
2. External Lighting
3. Materials to be submitted and approved
4. Boundary Treatment to be submitted and approved
5. Hard surfacing as approved
6. This permission does not grant permission for an entrance statement
7. At least 30% of dwellings in housing developments should comply with requirement M4 (2) Category 2 of the Building Regulations regarding accessible and adaptable dwellings
8. At least 6% of dwellings in housing developments should comply with requirement M4 (3)(2)(a) Category 3 of the Building Regulations regarding wheelchair adaptable dwellings.
9. SUDS Basin design to support toads
10. Updated bat surveys of trees prior to removal.
11. Safeguarding of nesting birds.
12. Air Source Heat Pump Provision
13. Landscaping scheme to include additional native species hedgerow planting within the site
14. Submission of a strategy for the diversion of rainwater to the existing ponds supported by detailed evidence on the volume of water required to maintain the ponds and how this would be achieved.
15. Submission of a Revised Landscape Scheme
16. Implementation of Landscaping
17. Tree Protection to be submitted and approved

In the event of any changes being needed to the wording of the Board's decision (such as to delete, vary or add conditions/informatives/planning obligations or reasons for approval/refusal) prior to the decision being issued, the Head of Planning has delegated authority to do so in consultation with the Chair of the Strategic Planning Board (or Vice Chair in their absence) provided that the changes do not exceed the substantive nature of the Board's decision.

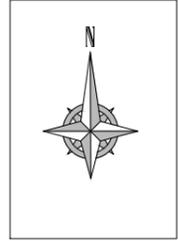


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21/4283C

LAND OFF WARMINGHAM
LANE, MIDDLEWICH,
CHESHIRE

The Contractor is responsible for checking dimensions and any discrepancy to be verified with the Architects before proceeding. Figured dimensions to be worked to only. DO NOT SCALE



 Denotes extent of Planning Application
 Denotes extant Permission for relocation of British Salt Infrastructure



Rev	Date	By	Description	Chk'd
A	13/04/23	NW	The Extant permission for relocation of British Salt Infrastructure has now been added.	KEH

PLANNING

location
**WARMINGHAM LANE
 MIDDLEWICH**

title
SITE LOCATION PLAN

scale	size	drawn by	checked by	date
1:2500	A3	NW	WDC	06/07/21

drawing no.	rev
439-P-SITE-1.001	A



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 Denotes extent of Planning Application



H	23/10/23	NW	Housetypes to plots 151-154 substituted for Bungalows.	TB
G	26/09/23	NW	Community Space indicated with walking trail and seating area, NEAP Play Area revised.	TB
F	29/08/23	NW	Site Layout updated in accordance with latest consultee comments received: Roads 15 & 16 adjusted for Vehicle Tracking, ramped tables indicated to main roads, additional access paths through POS areas indicated, car parking to 2bed apartment blocks revised, community land allocation adjusted.	TB
E	31/03/23	NW	Derwent Housetype added, Kendal Housetype now omitted, plots 101 & 110 handed, Retractable bollards omitted from access road to pump station and gates added.	KEH
D	15/09/22	NW	Layout revised to alleviate areas of overcrowding and excess handstanding in accordance with feedback received from CEC.	KEH
C	13/05/22	NW	Layout fully revised in accordance with Consultee Comments received to date.	MF
B	09/12/21	NW	Revised in accordance with latest amendments made to the site layout - refer to drawings 1.003 & 1.004.	WDC
A	22/07/21	NW	Revised in accordance with site layout - refer to drawings 1.003 & 1.004.	WDC
Rev	Date	By	Description	Chkd

PLANNING

Location
**WARMINGHAM LANE
 MIDDLEWICH**

Title
PROPOSED SITE PLAN

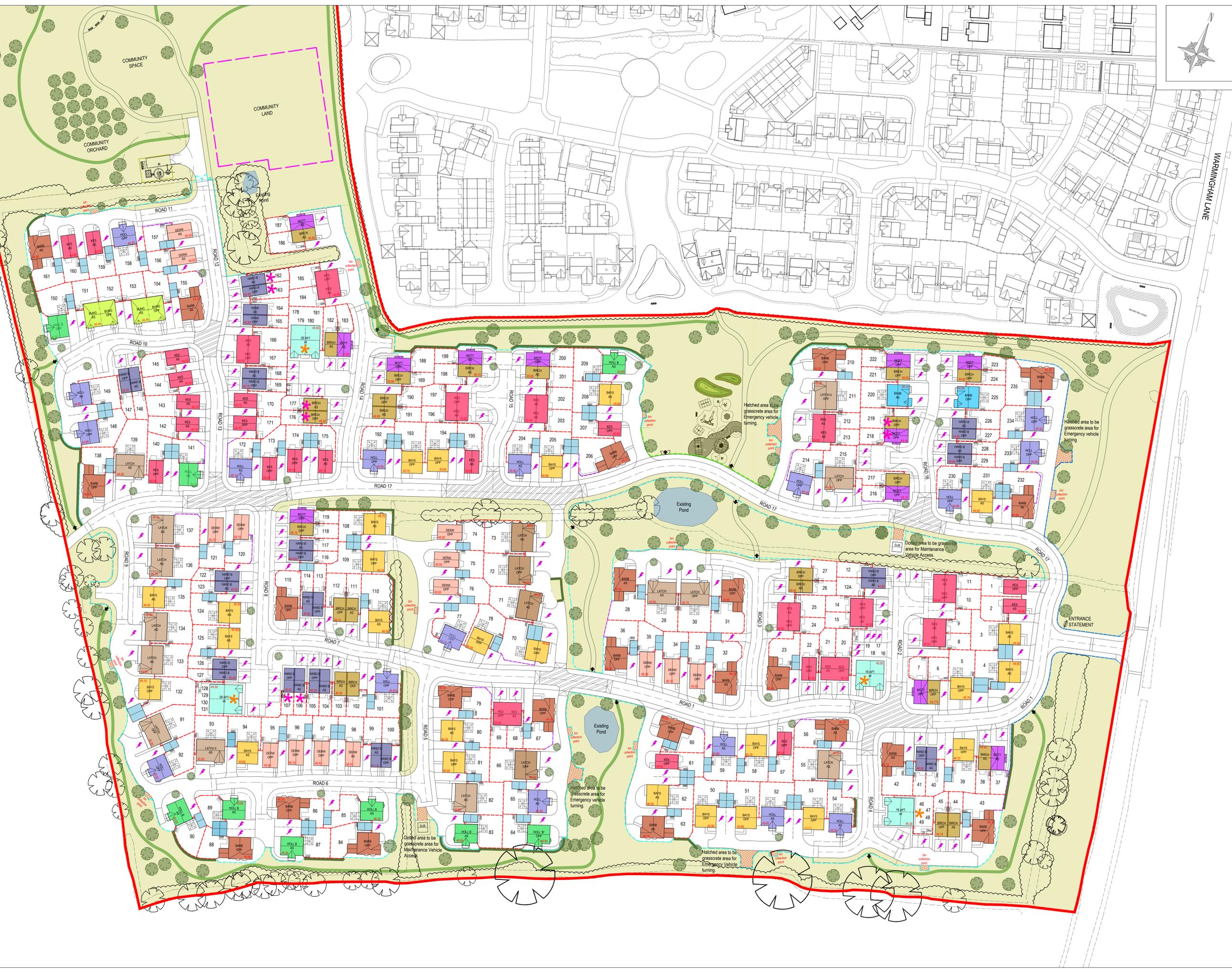
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1:1250	A1	NW	WDC	06/07/21

drawing no.	rev
439-P-SITE-1.002	H



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SCHEDULE OF ACCOMMODATION	
HOUSETYPE	No. OF
KESWICK	41
HANDFORTH B	30
BAYSWATER	26
BIRCH	24
BARBRIDGE	23
HOLLIN	17
LATCHFORD II	17
DERWENT	14
MOTTRAM	12
HOLLIN B	9
2 BED APARTMENT	8
1 BED APARTMENT	8
1 BED BUNGALOW	4
BANBURY	2
TOTAL	235

- Detached garage
- Raised junction table in concrete block paving or block paved shared surface carriageway.
- Grasscrete used as Emergency vehicle turning or bus collection point where noted
- Garden Bike Store (Non-Garage Plots Only)
- 240L Wheelie Bin
- Car charging point
- Denotes Trees to be retained
- Denotes Proposed Trees
- Denotes hedges to be retained
- Denotes proposed hedges
- Denotes POS Mown Paths

NOTE: This drawing must be read in conjunction with the Arboricultural Report and Tree Protection/ Tree Works Plan for all tree proposal information.

- AFFORDABLE HOUSING KEY:**
- Affordable Rent/Social Rent
 - Intermediate (Shared Equity/Shared Ownership)
 - Denotes extent of Planning Application

Rev	Date	By	Description	Checked
O	24/11/23	NW	NEAP layout revised in accordance with Consultants updated design.	TB
N	08/11/23	NW	NEAP Layout added in accordance with Consultants Design.	TB
M	23/10/23	NW	House types to plots 151-154 substituted for Bungalows.	TB
L	26/09/23	NW	Community Space indicated with walking trail and seating area. NEAP Play Area revised.	TB
K	29/08/23	NW	Site Layout updated in accordance with latest consultant comments received. Roads 15 & 16 adjusted for Vehicle Tracking removed paths indicated to main roads. additional access paths through POS areas indicated. car parking to 2nd apartment blocks revised. community land allocation adjusted.	TB
J	05/05/23	NW	Plots 214 & 215 to be Affordable allocation instead of plots 221 & 222.	KEH
I	31/03/23	NW	Derwent House type added. Kendal House type now omitted. plots 101 & 110 handed. Retrievable bollards omitted from access road to pump station and gates added.	KEH
H	15/09/22	NW	Layout revised to alleviate areas of overcrowding and excess handovering in accordance with Consultant Comments received to date. Landscaping added in accordance with Consultants proposals.	MF
G	13/05/22	NW	Layout fully revised in accordance with Consultant Comments received to date. Landscaping added in accordance with Consultants proposals.	MF
F	14/12/21	NW	Further revisions to layout in accordance with Planning requirements.	WDC
E	17/11/21	NW	Schedule of accommodation updated in accordance with the latest changes.	WDC
D	10.11.21	WDC	further amendment to plot 19 and raising at 234	NW
C	9.11.21	WDC	Further planning amendments in response to feedback.	NW
B	28/10/21	NW	planning amendments in response to consultation feedback.	WDC
A	22/07/21	NW	Plot 86 amended to Hollin B & schedule updated accordingly. assist railing introduced to POS and/or side of main entrance. three raising added to all other POS areas. bollards added adjacent to NEAP. hatching indicated to grasscrete emergency vehicle turning heads. palette boundary added to Pump Station.	WDC

PLANNING

location
**WARMINGHAM LANE
MIDDLEWICH**

title
**SITE LAYOUT
SHEET 1 of 2**

scale 1:500	size A0	drawn by NW	checked by WDC	date 06/07/21
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drawing no. **439-P-SITE-1.003** rev **O**

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SCHEDULE OF ACCOMMODATION

HOUSETYPE	No. OF
KESWICK	41
HANDFORTH B	30
BAYSWATER	26
BIRCH	24
BARBRIDGE	23
HOLLIN	17
LATCHFORD II	17
DERWENT	14
MOTTRAM	12
HOLLIN B	9
2 BED APARTMENT	8
1 BED APARTMENT	8
1 BED BUNGALOW	4
BANBURY	2
TOTAL	235

- Detached garage
- Raised junction table in concrete block paving or block paved shared surface carriageway.
- Grasscrete used as Emergency vehicle turning or bin collection point where noted
- Garden Bike Store (Non-Garage Plots Only)
- 240L Wheeled Bin
- Car charging point
- Denotes Trees to be retained
- Denotes Proposed Trees
- Denotes hedges to be retained
- Denotes proposed hedges
- Denotes POS Mown Paths

NOTE: This drawing must be read in conjunction with the Arboricultural Report and Tree Protection/Tree Works Plan for all tree proposal information.

AFFORDABLE HOUSING KEY:

- Affordable Rent/Social Rent
- Intermediate (Shared Equity/Shared Ownership)
- Denotes extent of Planning Application

Rev	Date	By	Description	Chkd
N	24/11/23	NW	NEAP layout revised in accordance with Consultants updated design.	TB
M	23/10/23	NW	Housetypes to plots 151-154 substituted for Bungalows.	TB
L	26/09/23	NW	Community Space indicated with walking trail and seating area. NEAP 'Play Area' revised.	TB
K	29/08/23	NW	Site Layout updated in accordance with latest consultant comments received. Roads 15 & 16 adjusted for Vehicle Turning around tables indicated to main roads, additional access paths through POS areas indicated. Car parking to 2-bed apartment blocks revised, community land allocation adjusted.	TB
J	05/05/23	NW	Plots 218 & 219 to be Affordable allocation instead of plots 221 & 222.	KEH
I	31/03/23	NW	Derwent Housetype added. Kendall Housetype now omitted, plots 101 & 110 handed. Renewable bollards omitted from access road to pump station and plots added.	KEH
H	15/09/22	NW	Layout revised to alleviate areas of overcrowding and excess hardstanding in accordance with feedback received from CEC.	KEH
G	13/05/22	NW	Layout fully revised in accordance with Consultant Comments received to date. Landscaping added in accordance with Consultants proposals.	MF
F	14/12/21	NW	Further revisions to layout in accordance with Planning requirements.	WDC
E	17/11/21	NW	Schedule of accommodation updated in accordance with the latest changes.	WDC
D	10/11/21	WDC	Further amendment to plot 19 and railing at 234	NW
C	9/11/21	WDC	Further planning amendments in response to feedback.	NW
B	28/10/21	NW	planning amendments in response to consultation feedback.	WDC
A	23/07/21	NW	Plot 86 amended to Hollin B & schedule updated accordingly, access railing introduced to POS either side of main entrance, three railing added to all other POS areas, topsoil added adjacent to NEAP, hatching indicated to grasscrete emergency vehicle turning, parade boundary added to Pump Station.	WDC

PLANNING

location
**WARMINGHAM LANE
MIDDLEWICH**

title
**SITE LAYOUT
SHEET 2 of 2**

scale	A0	drawn by	checked by	date
1:500	AW	NW	WDC	06/07/21

drawing no. **439-P-SITE-1.004** rev **N**

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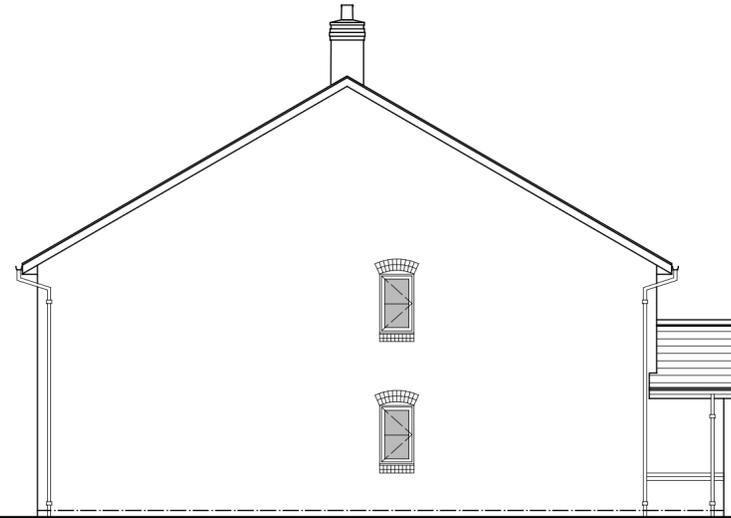


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Plots 128, 129, 130, 131



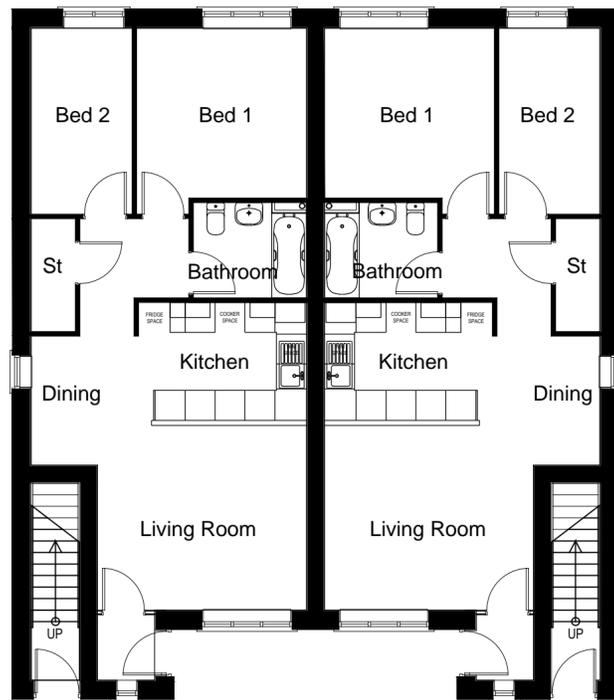
FRONT ELEVATION
Scale 1:100



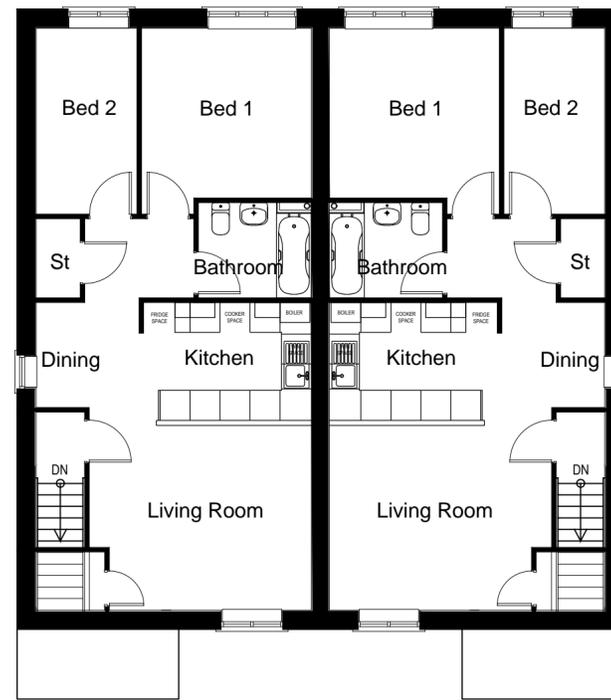
SIDE ELEVATION



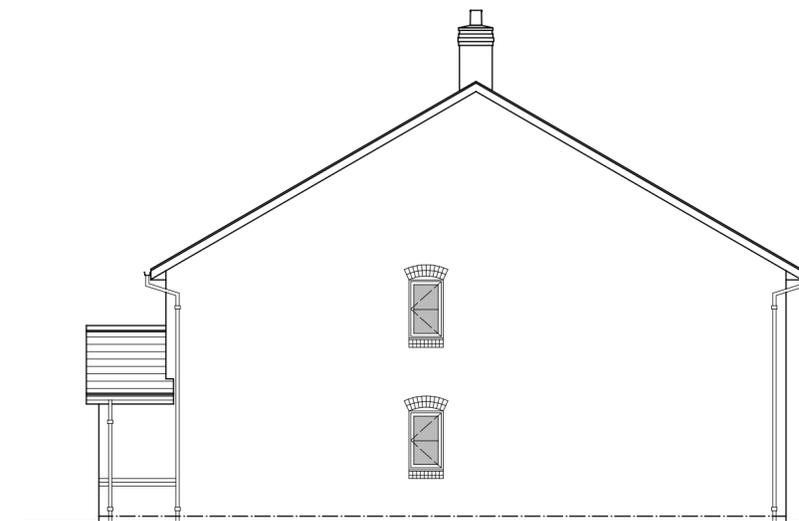
REAR ELEVATION



GROUND FLOOR PLAN
Scale 1:100



FIRST FLOOR PLAN
Scale 1:100



SIDE ELEVATION

Rev	Date	By	Description	Chk'd
4	29.03.23	SB	Updated as per Reviewed Pack	NW
3	03/10/22	SB	Updated Plot numbers as per the Site Layout	NW
2	14/07/22	KEH	Plot numbers added.	NW
1	01/03/22	NW	Houetype revised to comply with Nationally Described Space Standards criteria.	WDC

PLANNING

location
WARMINGHAM LANE
MIDDLEWICH

title
APARTMENT BLOCK
2A INNER CHARACTER PLOTS

scale	size	drawn by	checked by	date
1:100	A2	NW	WDC	06/08/21

drawing no.	rev
439-HT-PLAN-APT-03	4



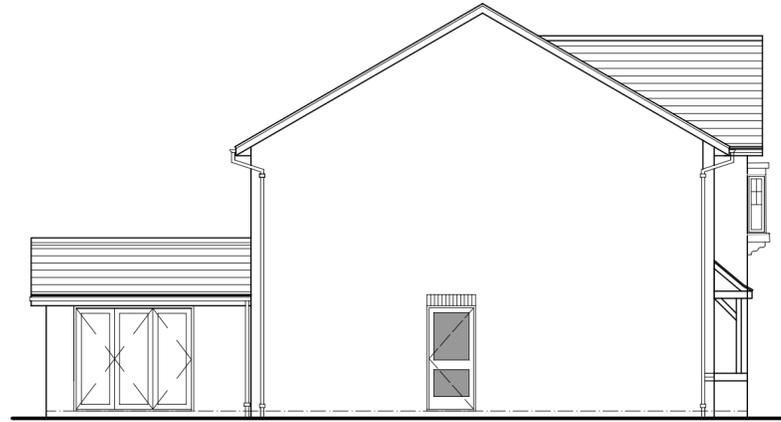
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Plots 42, 63, 84, 86, 88,
155, 161, 210, 235



FRONT ELEVATION
Scale 1:100



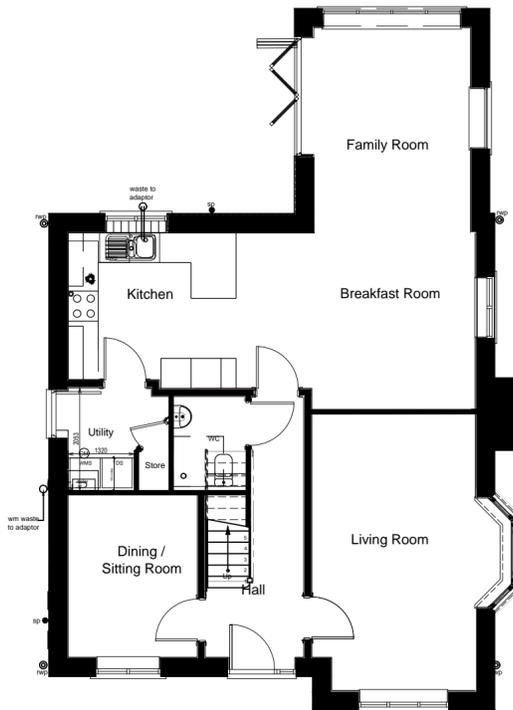
SIDE ELEVATION
Scale 1:100



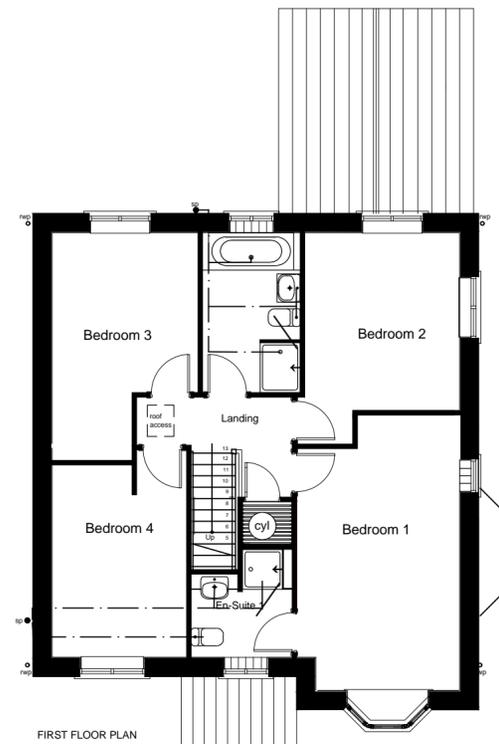
REAR ELEVATION
Scale 1:100



SIDE ELEVATION
Scale 1:100



GROUND FLOOR PLAN
Scale 1:50



FIRST FLOOR PLAN

Rev	Date	By	Description	Chk'd
4	16.03.23	SB	Updated as per reviewed pack	NW
3	03/10/22	SB	Updated Plot numbers as per the Site Layout	NW
2	14/07/22	KEH	Plot numbers added.	NW
1	23/05/22	RN	Houetype revised to be Building Regulations M4(2) compliant.	NW

PLANNING

location
WARMINGHAM LANE
MIDDLEWICH

title
BARBRIDGE M4(2) HOUSETYPE
1A OUTER CHARACTER PLOTS

scale	size	drawn by	checked by	date
1:100	A2	RN		10/05/22

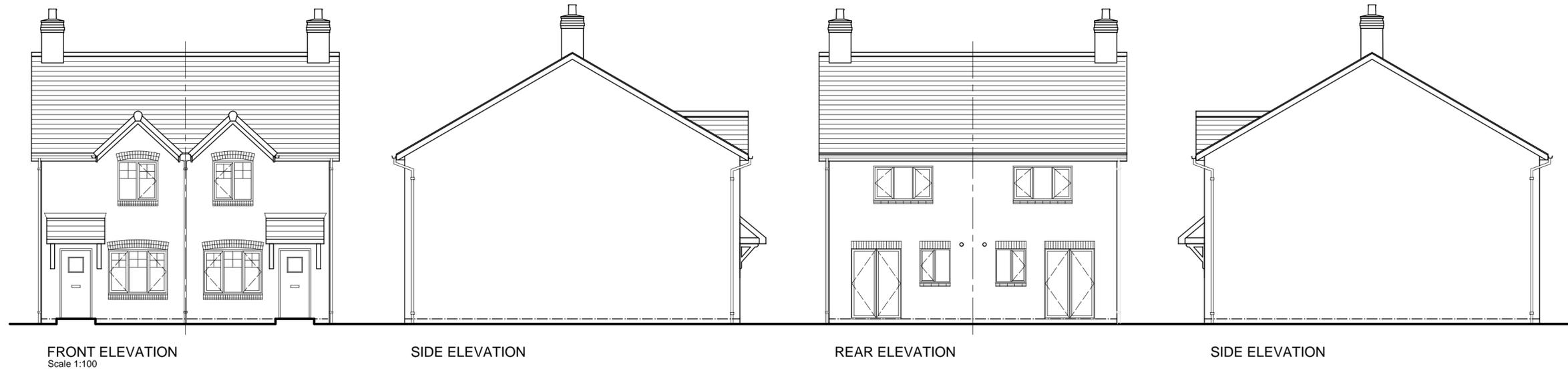
drawing no.	rev
439-HT-PLAN-BAR-01	4

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Plots 40, 41, 146, 147,
153, 154, 162, 163, 164,
165

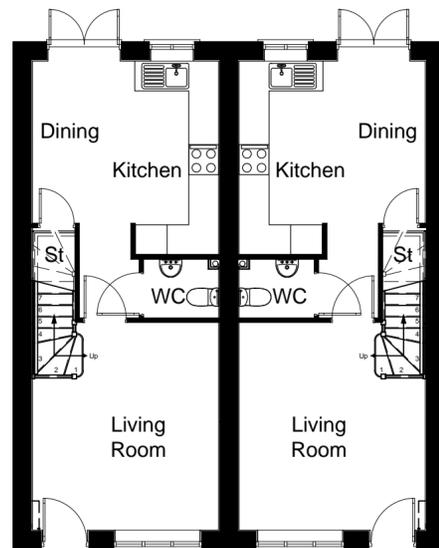


FRONT ELEVATION
Scale 1:100

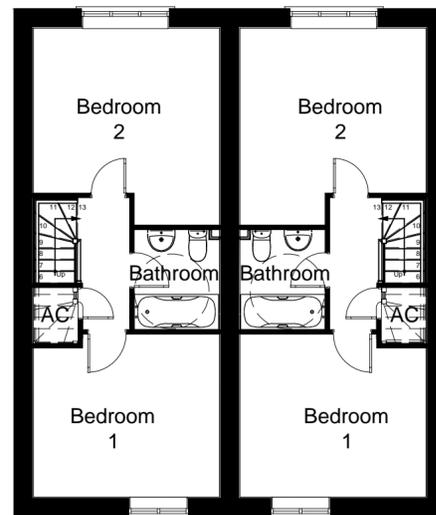
SIDE ELEVATION

REAR ELEVATION

SIDE ELEVATION



GROUND FLOOR PLAN
Scale 1:100



FIRST FLOOR PLAN
Scale 1:100

Rev	Date	By	Description	Chk'd
4	14.03.23	SB	Updated as per reviewed pack	NW
3	03/10/22	SB	Updated Plot numbers as per the Site Layout	NW
2	13/07/22	KEH	Plot numbers added.	NW
1	01/03/22	NW	Housetype revised to comply with Nationally Described Space Standards criteria.	WDC

PLANNING

location
WARMINGHAM LANE
MIDDLEWICH

title
HANDFORTH HOUSTYPE
1A OUTER CHARACTER PLOTS

scale	size	drawn by	checked by	date
1:100	A2	NW	WDC	06/08/21

drawing no.	rev
439-HT-PLAN-HAN-01	4

JONES
HOMES

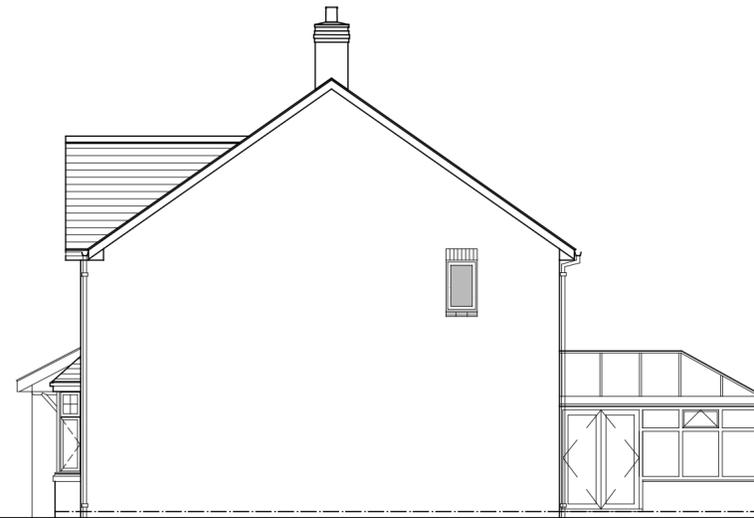
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Plots 55, 91, 93, 133, 134, 136, 139, 211



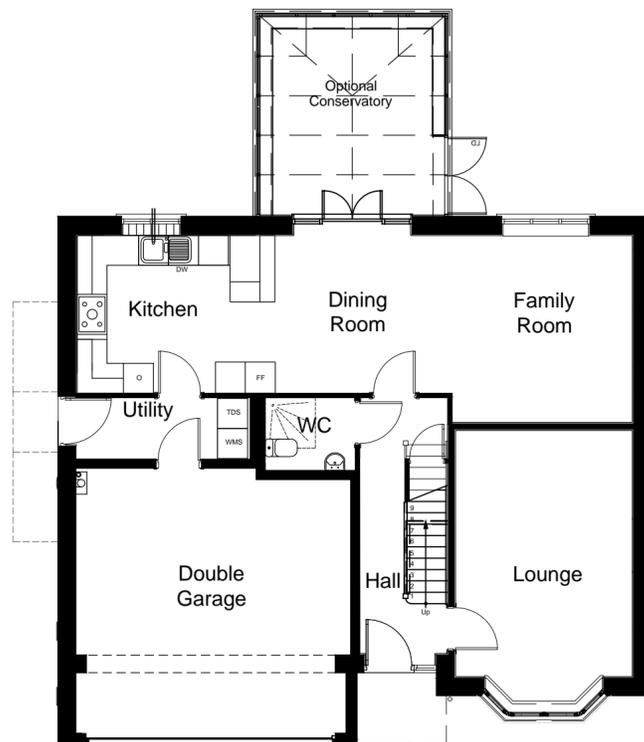
FRONT ELEVATION
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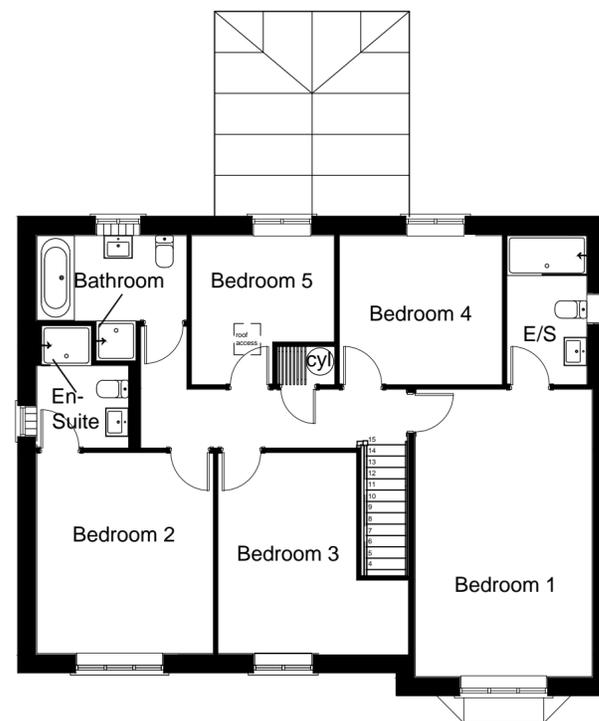
SIDE ELEVATION



REAR ELEVATION



GROUND FLOOR PLAN
Scale 1:100



FIRST FLOOR PLAN
Scale 1:100



SIDE ELEVATION

Rev	Date	By	Description	Chk'd
4	20.03.23	SB	Updated as per reviewed pack	NW
3	03/10/22	SB	Updated Plot numbers as per the Site Layout	NW
2	14/07/22	KEH	Plot numbers noted.	NW
1	23/05/22	RN	Housetype revised to be Building Regulations M4(2) compliant.	NW

PLANNING

location
WARMINGHAM LANE
MIDDLEWICH

title
LATCHFORD II M4(2) HOUSETYPE
1A OUTER CHARACTER PLOTS

scale	size	drawn by	checked by	date
1:100	A2	NW	WDC	11/04/22

drawing no.	rev
439-HT-PLAN-LAT-01	4

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Plots 4, 5, 39, 50, 51, 53,
94, 132, 135, 151, 231



FRONT ELEVATION
Scale 1:100

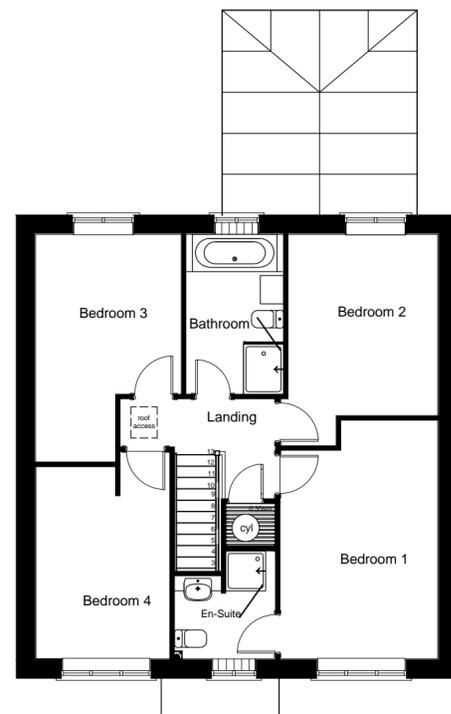
SIDE ELEVATION

REAR ELEVATION

SIDE ELEVATION



GROUND FLOOR PLAN
Scale 1:100



FIRST FLOOR PLAN
Scale 1:100

Rev	Date	By	Description	Chk'd
4	20.03.23	SB	Updated as per reviewed pack	NW
3	03/10/22	SB	Updated Plot numbers as per the Site Layout	NW
2	14/07/22	KEH	Plot numbers noted.	NW
1	23/05/22	RN	Housetype revised to be Building Regulations M4(2) compliant.	NW

PLANNING

location
WARMINGHAM LANE
MIDDLEWICH

title
BAYSWATER M4(2) HOUSETYPE
1A INNER CHARCTER PLOTS

scale	size	drawn by	checked by	date
1:100	A2	RN		09/05/22

drawing no.	rev
439-HT-PLAN-BAY-01	4

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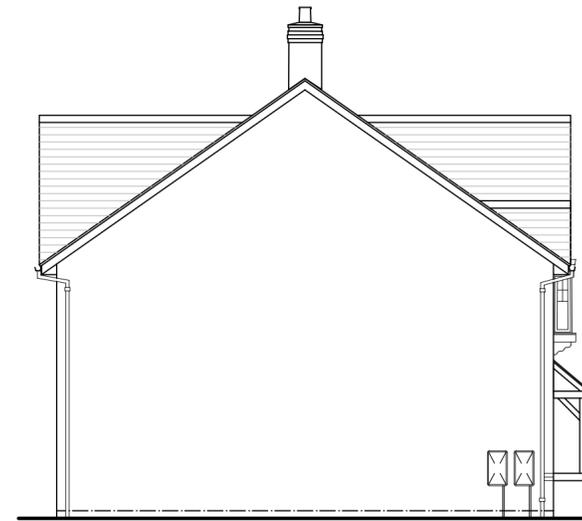
Plots 6, 7, 37, 38, 186, 187, 188, 189, 198, 199, 200, 201, 221, 222, 223, 224.



FRONT ELEVATION (MOTTRAM)
Scale 1:100



FRONT ELEVATION (BIRCH)
Scale 1:100



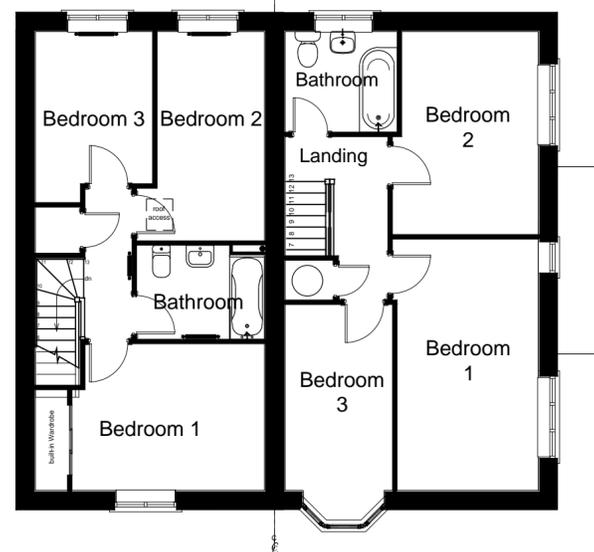
SIDE ELEVATION
Scale 1:100



REAR ELEVATION
Scale 1:100



GROUND FLOOR PLAN
Scale 1:100



FIRST FLOOR PLAN

Rev	Date	By	Description	Chk'd
4	15.03.23	SB	Updated as per reviewed pack	NW
3	03/10/22	SB	Updated Plot numbers as per the Site Layout	NW
2	13/07/22	KEH	Plot numbers added.	NW
1	01/03/22	NW	Houetype revised to comply with Nationally Described Space Standards criteria.	WDC

PLANNING

location
WARMINGHAM LANE
MIDDLEWICH

title
BIRCH/MOTTRAM HOUSETYPE
1A OUTER CHARACTER PLOTS

scale	size	drawn by	checked by	date
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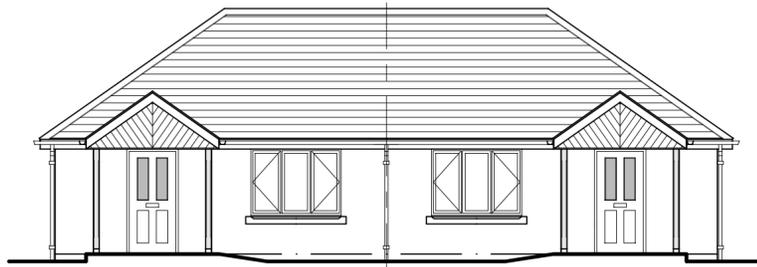
drawing no.	rev
439-HT-PLAN-BIR-MOT-01	4



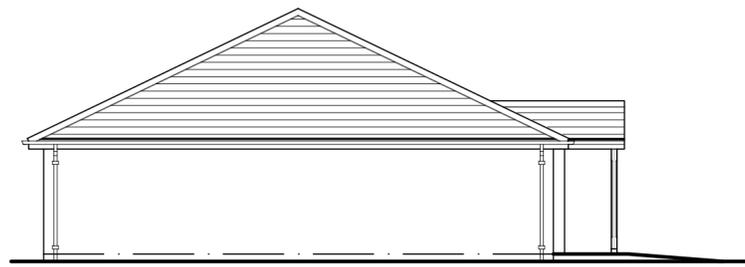
JONES HOMES
EMERSON HOUSE, HEYES LANE, ALDERLEY EDGE, CHESHIRE. SK9 7LF
Tel: (01625) 588400 Fax: (01625) 588270

The Contractor is responsible for checking dimensions and any discrepancy to be verified with the Architects before proceeding. Figured dimensions to be worked to only. DO NOT SCALE

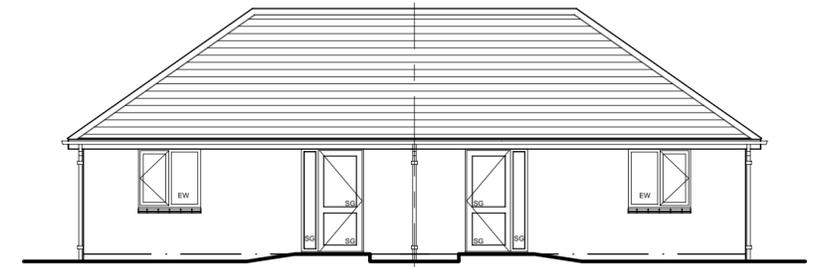
Plots 151, 152, 153 & 154



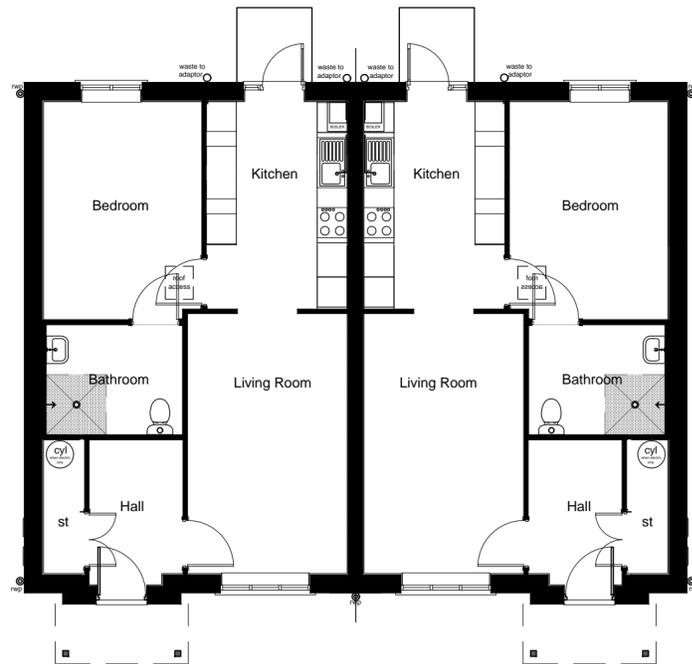
FRONT ELEVATION
Scale 1:100



SIDE ELEVATION
Scale 1:100



REAR ELEVATION
Scale 1:100



FLOOR PLAN
Scale 1:100

Rev	Date	By	Description	Chk'd
PLANNING				
location WARMINGHAM LANE				
title BUNGALOW HOUSETYPE 1A INNER CHARACTER PLOTS				
scale 1:100	size A2	drawn by SB	checked by NW	date 24/10/23
drawing no. 439-HT-PLAN-BUNG-01				rev -

PLANNING

location
WARMINGHAM LANE

title
BUNGALOW HOUSETYPE
1A INNER CHARACTER PLOTS

scale 1:100	size A2	drawn by SB	checked by NW	date 24/10/23
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drawing no. 439-HT-PLAN-BUNG-01	rev -
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EMERSON HOUSE, HEYES LANE, ALDERLEY EDGE, CHESHIRE. SK9 7LF
Tel: (01625) 588400 Fax: (01625) 588270

Application No: 22/1930C

Location: MOUNT PLEASANT FARM, GIANTSWOOD LANE, HULME
WALFIELD, CHESHIRE, CW12 2JJ

Proposal: The demolition of certain existing buildings and the erection of residential dwellings (Use Class C3) with access, car parking, landscaping, public open space and associated infrastructure.

Applicant: Mr Stuart Andrew, Castle Green Homes

Expiry Date: 12-Sep-2022

SUMMARY

This is a full planning application for residential development of this site. The principle of residential development is in line with Local Plan allocation Site LPS 27 and is therefore accepted.

Highways have no objections, subject to a number of conditions and financial contributions. The Public Rights of Way team have now confirmed they have no objections subject to condition/informative, but highlight the PROW will need to be formally diverted.

The Council's Landscape Officer has requested a number of amendments which have largely been achieved, and the Tree Officer, whilst seeking some clarification regarding conflicting plans, is raising no significant concerns.

The Council's Ecologist has raised the issue of harm to a Local wildlife Site caused by the construction of an internal access route linking two parts of the site, which is noted, however this needs to be looked at in the overall planning balance. Clarification was sought on the Biodiversity Net Gain (BNG) calculations which have now been resolved.

Extensive discussions have taken place in relation to urban design. Revised plans have been received and the Council's Urban Design Officer is now largely supportive of the scheme. Some additional amendments have been made to address some (relatively minor) outstanding matters, and it is hoped that the Design Officer can confirm that these changes largely address outstanding matters.

Perhaps the main issue outstanding on this application is in relation to drainage/flooding. The LLFA have indicated that the applicant has shown the site can be adequately drained, but that SuDs is not accommodated as well as it should – a point made by UU. Members will need to be updated on this matter.

ANSA have raised in number of detailed comments on POS provision which the applicant has sought to address. Members will be updated accordingly when revised ANSA comments are received.

Following the receipt of an Affordable Housing Statement, with clarification of the tenure mix and that all properties meet the NDSS standards, Housing have now confirmed that they raise no objections.

Jodrell Bank have objected on the grounds of harm to the Observatory, however this needs to be seen in the overall planning balance.

Finally other matters such as Education, Healthcare, Archaeology, Contaminated land/Air quality/Amenity can be addressed by contributions/conditions.

Whilst there is some harm to Ecology and Jodrell Bank, this is considered to be outweighed by developing this allocated site and the benefits this brings.

RECOMMENDATION

Approve subject to a Section 106 agreement and conditions

SITE DESCRIPTION

This application relates to what in effect are two separate sites either side of Viking Way/Barn Road south of the Congleton Link Road (CLR). These sizable sites amount to some 22.90 hectares, understood to have last been used for grazing.

The site to the west of Barn Road/Viking Way slopes away from the road frontage, but then slopes gradually down to the west and south where it is bordered by the River Dane. There are some more significant changes in level towards the river floodplain. Whilst most of the site is open there is a woodland belt following a water course along the northern boundary, with the water course being at a much lower level. In addition, the River frontage is heavily wooded. The site is separated from the CLR by another allocated site which was approved by Members for commercial uses (Classes B2/B8).

The site to the east of Barn Road/Viking Way starts at a lower level than the road frontage, rising gradually until there is a short steep slope marked by a tree line approximately halfway across the site. The remainder of the site running east to Giantswood Lane again slopes gradually upwards. Currently there is a newly created agricultural access point to the land from Giantswood Lane adjacent to the bridge over the CLR.

There are trees and hedgerows to the site boundaries, and important hedgerows crossing the centre of the site, particularly following a water course and around the Local Wildlife Site. Including a newly planted hedge line fronting the Congleton Link Road which forms the northern boundary of this part of the site, and Barn Road/Viking Way to the west. The southern boundary adjoins the Bloor Homes site to the south (separated by a water course – again in a depression) with a hedge line with trees. As you progress eastwards, upslope there is an area of woodland – part in and part outside the site boundary, and finally at the eastern end the southern boundary is marked by the unadopted access leading to the fishing lake and properties off Westlow Mere.

Mount Pleasant Farm after which the site is named fronts Giantswood Lane and does not form part of the development site but was under the control of the applicant.

A public footpath runs along the unadopted road and then crosses the site running south north to the Link Road.

A Site of Special Scientific Interest (SSSI) lies downstream (some distance away) from the western part of the site on the River Dane, and the river frontage is a Local Wildlife Site, finally part of the site, towards the centre at the foot of the slope referenced above is a Local Wildlife Site simply titled “Field at Hulme Walfield”.

Whilst the majority of the site falls with Flood Zone 1, the river corridor falls within Flood Zones 2 & 3.

National Cycle Route - Ref NCN 55/537 runs down Giantwood Lane.

There are no listed buildings on nor adjacent to the site, and no conservation areas in the vicinity.

PROPOSAL

The application title reads:

“The demolition of certain existing buildings and the erection of residential dwellings (Use Class C3) with access, car parking, landscaping, public open space and associated infrastructure.”

The proposal (in its revised form) is to build 4 phases of development (Phases A-D) amounting to some 396 dwellings, 313 market and 83 affordable, with the following mix:

- 1 bed – 4 (All affordable)
- 2 bed – 55 (16 market: 39 affordable)
- 3 bed – 223 (183 market: 40 affordable)
- 4 bed – 114 (All market)

The levels above represent 30% policy compliant provision, however the applicant is seeking to provide some 70% affordable housing (grant aided by Homes England) although only the 30% would be secured by a Section 106 Agreement. The tenure mix also varies across the site, with some parcels providing policy required housing and others in excess of the requirement. This also impacts which parcels will contribute to the Congleton Link Road and is picked up in the highway comments below.

Parcel A to the west of Barn Road/Viking Way amounts to some 10 ha and 160 dwellings with a single access off the road frontage. The dwellings are set off the river frontage with a footpath/cycleway and areas of public open space in the buffer zone. A more formal LEAP is located more centrally within the site with a community orchard and SUDS features alongside.

Parcel B immediately to the east of Barn Road/Viking Way, and west of the Local Wildlife Site (LWS) consists of some 7 ha and 126 dwellings. Two access points are proposed, one serving Parcels B, C & D, whereas the other is a cul-de-sac only serving properties in Parcel B. Parcel B is divided into two by an existing watercourse and along this route a LAP is proposed. Attenuation ponds are proposed on the site frontage.

The Local Wildlife Site separates Parcels B & C and although it remains largely undeveloped – with existing hedge lines forming boundaries, the main east west link road is located along its northern edge of the site and an attenuation pond is proposed alongside.

Parcels C & D located between the LWS & Giantswood Lane amounts to over 5 ha and 110 dwellings. Access to the site is only being provided via the route to the north of the LWS, with the original proposal to access onto Giantswood Lane which formed part of the original proposals now having been removed. Only an emergency access is now proposed as approved on the Redrow Homes site on the other side of Giantswood Lane. Pedestrian/Cycle links would still be provided through this link, and on the upgraded and extended PROW link re-enforcing the east west link across North Congleton. A centrally located LEAP and smaller areas of POS are proposed in these parcels, mainly located buffering the retained woodland on the southern boundary.

An Environmental Statement (ES) has been submitted with the application.

RELEVANT PLANNING HISTORY

Whilst there are no planning approvals on the site relevant to the determination of this application (Application 20/5859C for housing on part of the site was not pursued), the following applications are relevant on adjacent sites:

Congleton Link Road:

15/4480C - The proposed Congleton Link Road - a 5.7 km single carriageway link road between the A534 Sandbach Road and the A536 Macclesfield Road. APPROVED July 2016

To the west of the site:

21/4440C - Outline application with details of access (details of appearance, landscaping, layout, and scale are reserved for future determination) for the erection of flexible Use Class B2/B8 employment units (including ancillary offices), vehicle and pedestrian access, parking, landscaping and associated works. Land to the west of Viking Way, Congleton - APPROVED by Committee awaiting signing of 106

To the south of the site off Barn Road/Viking Way:

19/5596C Outline planning application with all matters reserved except for the principal means of access for the erection of a residential development (Use Class C3), employment and commercial floorspace (Use Classes B1/B2/B8/C1/D2) and a local centre (Use Classes A1/A2/A3/A4/A5/D1) with associated landscaping, drainage and other infrastructure. Land off Viking Way, Congleton - APPROVED 2 Feb 2022

In addition, there are the following applications submitted to-date (excluding discharge of condition applications) for other parts of the site included within the outline area:

22/0670C Reserved matters application proposing details for the appearance, scale, layout and landscaping for a residential development at Viking Way, Congleton. An Environmental Impact Assessment was submitted to the Local Planning Authority as part of the outline. Land East of VIKING WAY, CONGLETON APPROVED Dec 2022

22/2338C Full planning application proposing enabling works at Viking Way comprising the erection of site hoardings, removal of existing trees, site clearance, cut and fill excavation, and watercourse realignment. Land to the East and West of Viking Way, Congleton APPROVED Feb 2023

22/2350C Details of reserved matters (Access, Appearance, Landscaping, Layout and Scale) in respect of Phase 2 (commercial floorspace in Use Classes B2/B8/E(g)) of outline planning permission 19/5596C. Land to the West of Viking Way, Congleton APPROVED Feb 2023

22/3338C Full planning application proposing the erection of an employment building (Use Class B2, B8 and ancillary E(g)) with associated infrastructure, including landscaping, drainage, and car, HGV and cycle parking, and access from Viking Way. Land to the East of, Viking Way, Congleton APPROVED By SPB March 2023 awaiting S106

23/2054C Reserved matters approval for 19/5596C: Outline planning application with all matters reserved except for the principal means of access for the erection of a residential development (Use Class C3), employment and commercial floorspace (Use Classes B1/B2/B8/C1/D2) and a local centre (Use Classes A1/A2/A3/A4/A5/D1) with associated landscaping, drainage and other infrastructure. UNIT 1, VIKING WAY, CONGLETON APPROVED Nov 2023

DEVELOPMENT PLAN POLICIES

Cheshire East Local Plan Strategy – 2010-2030

PG1 – Development Strategy
PG6 – Open Countryside
SD1 - Sustainable Development in Cheshire East
SD2 - Sustainable Development Principles
IN1 – Infrastructure
IN2 – Developer Contributions
SC1 – Leisure and recreation
SC2 – Indoor and outdoor recreation
SE 1 - Design
SE 2 - Efficient Use of Land
SE3 – Biodiversity and Geodiversity
SE 4 - The Landscape
SE 5 - Trees, Hedgerows and Woodland
SE 6 - Green Infrastructure
SE 13 - Flood Risk and Water Management
CO1 – Sustainable Travel and Transportation

Site LPS 27: Congleton Business Park Extension

Site Allocations and Development Policies Document (“SADPD”)

PG9 - Settlement Boundaries,
GEN1 - Design principles,
ENV1 -Ecological network,
ENV2 - Ecological implementation,
ENV3 - Landscape character,
ENV4 – River Corridors,
ENV5 - Landscaping,
ENV6 - Trees, hedgerows and woodland implementation,
ENV7 - Climate Change,
ENV12 - Air quality,

ENV14 - Light pollution,
ENV15 - New development and existing uses,
ENV16 - Surface water management and flood risk,
ENV17 - Protecting water resources,
RUR6 - Outdoor sport, leisure and recreation outside of settlement boundaries,
HOU1 – Housing Mix,
HOU6 – Accessibility and Wheelchair housing standards,
HOU10 - Amenity,
HOU11 – Residential Standards,
HOU12 – Housing density,
HOU13 – Housing delivery,
INF1 - Cycleways, bridleways and footpaths,
INF3 - Highways safety and access,
INF6 - Protection of existing and proposed infrastructure
INF9 – Utilities.

Neighbourhood Plans:

The Hulme Walfield and Somerford Booths Neighbourhood Plan referendum was held on the 15 February 2018. The plan was made on the 19 March 2018. Relevant policies include:

HOU2 Housing for Older People and People with Disabilities
HOU3 Rural Character
HOU4 Housing Design

ENV1 Wildlife Corridor and Areas of Habitat Distinctiveness
ENV2 Trees and Hedgerows
ENV3 Multi Use Routes

CONSULTATIONS (External to Planning)

Natural England – Commenting on the original submission, they asked the applicant to demonstrate what the discharges from the development – together with other consented developments, would have on the SSSI downstream from the site. Updated comments are awaited, but it is noted that the SSSI is designated for its geomorphological features not for flora/fauna reasons, i.e. the issue is whether discharges to the river would cause harm. This is unlikely as no new outfalls are proposed and discharge rates should be limited to greenfield – i.e. existing rates.

Environment Agency – No objections but require a condition that fixes the finished floor levels above a datum point in accordance with the submitted FRA.

United Utilities – Following a review of the Flood Risk and Surface Water Drainage Strategy, there are concerns that they have not seen robust evidence that the drainage hierarchy has been thoroughly investigated and the proposals are not in line with the Non-Statutory Technical Standards for Sustainable Drainage Systems. In addition details of foul drainage are required.

NHS CCG – Object to the application unless a contribution of some £515,950 is made to local GP Practices in the area.

Jodrell Bank - Oppose this development as it would impair the efficiency of the telescopes and ask that the planning authority take this in to account in reaching its decision on this development, noting that the cumulative impact of this and other developments is more significant than each development individually.

CEC Head of Strategic Infrastructure: No objections subject to conditions and contributions via a Section 106 Agreement.

CEC Housing: Still object to the application as a number of matters need to be clarified.

CEC Education: No objections subject to a Section 106 contribution of some £1,175,376.02 towards Secondary and SEN Education

CEC Public Rights of Way (PROW): The development, if granted consent, would affect Public Footpath No. 7, Hulme Walfield, and following clarification from the applicant that the route is to be diverted through the development, no objections are raised subject to a condition and informatives.

CEC Environmental Health: No objections subject to a number of conditions.

CEC Flood Risk Manager: The Flood Risk Team are currently raising objections to the proposals, as they are lacking in detail, and do not make the best use of SUDS. Following discussions revised proposals have been discussed and Members will be updated in the Update Report.

ANSA: Detailed comments were made on the original layout requesting a number of amendments. Update comments on revised proposals are awaited.

VIEWS OF THE TOWN/PARISH COUNCILS

Hulme Walfield and Somerford Booths Parish Council:

General

HWSB PC welcomes the modifications which have been made by the applicant. The applicant has maintained helpful and constructive dialogue with the Parishes during their planning phases.

The acceptance of the 'Emergency Access' off Giantswood Lane is something which provides consistency with the adjacent approved development by Redrow (Round Hill Gardens) and recognises the importance of Giantswood Lane as an important recreational route for residents linking with the proposed West East Greenway and part of the National Cycle Routes (NCN 55) .

It is also in accord with the wishes of a substantial number of residents on and adjacent to Giantswood Lane who already experience increase volumes and speed of traffic in adjacent residential areas and on Giantswood Lane.

Emergency Access: Design and Long Term Permanence: Giantswood Lane

The PC requests that the design of this barrier should be both robust, permanent and secure. It will welcome further discussions with the applicant to secure a design which is also acceptable to Cheshire East Highways.

It also seeks assurance from Cheshire East Planning that the proposal contained in the SADP Plan for a direct link between Viking Way/Barn Road and Manchester Road be formally withdrawn so that there is no prospect of a future direct link onto Giantswood Lane or through the proposed and current housing developments.

Construction Traffic and Noise

HWSB PC request a condition attached to preclude any access by construction traffic from Giantswood Lane in the same manner that Redrow have already complied with this request. This does not preclude the possibility that essential services may need to be laid on lengths of Giantswood Lane in accordance with current Highways procedures.

While the development does not affect local residents in the same way that they are affected by the Redrow development it requests the Planning Department to impose strict and effective restrictions on noise, hours of operation, and vibration during the construction phase.

East West Greenway

HWSB PC is supportive of this proposal and the extent to which it is being incorporated within adjacent housing schemes. It does however note that the length outside the applicants ownership runs over private land and access and therefore seeks clarification of how the link up with the Redrow scheme can be achieved.

To this effect it reminds CE Planning that it has made a formal request for the provision of a s106 contribution which will enable it to make improvements to link rights of way so that a comprehensive 'joined up' network can be achieved for the benefit of existing and new residents alike. The exclusion of this part of Hulme Walfield from the provisions of the Community Infrastructure Levy (by including it within the 0-rated area of Congleton) makes such a contribution of far greater importance.

Areas of Character

This is seen as a valuable modification of the original plan, particularly for the area adjacent to Mount Pleasant Farm where it should achieve a style more appropriate to a rural area.

20 MPH Design Features

HWSB PC reiterates its strongly held view that the design features intended to slow the speed of estate traffic to 20mph should be supported by a comprehensive 20mph zone for the entire development.

OTHER REPRESENTATIONS

A significant number of representations were received to the originally submitted proposals, and more recently to the revised scheme. The majority of the comments concern the proposed access onto Giantswood Lane, and now that has been amended to an emergency access only, the majority of residents are raising no objections to the proposals. However, the following issues have been raised:

- How will the emergency only access onto Giantswood Lane be maintained and kept robust/permanent?
- Is the in effect very long cul-de-sac acceptable as it is a long way to Barn Road. Are the roads a suitable width to serve the vehicle movements in the site?
- The Congleton & District Fly Fishers Ltd will not allow the cycleway access onto their private road as shown in the plans. Access should be via the emergency access only.
- Detailed comments made about the crossing over the main access off Barn Road for cyclists/pedestrians.
- Will local facilities/services (schools/Doctors etc) be able to cope with the increased housing numbers.?
- Congleton already has enough houses
- Will public transport be provided into Congleton Town Centre?
- Objection to the impact on wildlife and the countryside.
- Not clear if Mount Pleasant Farm is being retained – which it should be.
- Landscaping/open space must be managed to maintain the rural character of the site.
- How will wastewater be treated for such a large development?
- Impact on Jodrell Bank Observatory

OFFICER APPRAISAL

Principal of Development

The site forms one (but a significant element) of the following policy allocation:

Site LPS 27 - Congleton Business Park Extension

“The extension site at Congleton Business Park over the Local Plan Strategy period will be achieved through:

1. The delivery of, or a contribution towards, the Congleton Link Road;
2. The delivery of around 625 new homes (at approximately 30 dwellings per hectare) as set out in Figure 15.32;
3. The delivery of around 10 hectares of land for employment and commercial uses adjacent to Congleton Business Park as set out in Figure 15.32;
4. The delivery of around 3 hectares of land for employment and commercial uses adjacent to the Congleton Link Road junction as set out in Figure 15.32;
5. The provision of appropriate retail space to meet local needs;
6. The provision of children's play facilities;

7. Pedestrian and cycle links set in green infrastructure to new and existing employment, residential areas, shops, schools, health facilities the town centre;
8. Contributions to health and education infrastructure; and
9. The provision of land required in connection with the Congleton Link Road as set out in Figure 15.32.”

Essentially the site forms the largest housing element of this allocation, with the Bloor Homes development (Ref: 22/0670C) to the south making up the other major part.

The development of this site for housing fully complies with the Local Plan allocation LPS 27 and as such is acceptable in principle – subject to it meeting the relevant elements of the Site Specific Principles of Development, and other relevant Local Plan policies which are examined below.

Highway Implications

Access

The residential development on the west side of Viking Way has a single priority access off Viking Way access to serve 160 dwellings. There are two access points on the east side of Viking Way, the southern access is a priority junction that serves 59 dwellings, and the northern access has a ghost right turn lane on Viking Way that serves 177 dwellings. This ties-in to the right turn lane for the approved employment land and includes an uncontrolled crossing point with a central island.

The revised layout includes an emergency access only to Giantswood Lane, allowing also for pedestrian and cyclist access.

Internal Design

The main access roads for all of the parcels are 5.5m wide with 2m footways on each side of the road, the secondary roads will be a minimum of 4.8m wide with footway provision on one side, there are also a number of private drives within the layout. The internal layout has been designed in order to keep vehicular speed low (20mph) although there are sections where the alignment is straight (crossing the wildlife site), a traffic calming measure has been provided in this location to control vehicle speeds in this straight section of road. Overall, the internal design is acceptable and suitable for adoption. A 20mph Speed Limit will be included in the developer adoption agreement when the road is adopted.

Public Footpath No. 7 is proposed to be converted to a 3m pedestrian/cyclist shared use route, connecting to the CLR.

The level of car parking provision for all of the plots is in accordance with the CEC parking standards.

Traffic Impact

It is important to note that the traffic impact capacity assessments have been undertaken with the CLR in place which is now open to traffic. A number of junctions have been modelled to assess the whether the additional traffic generation from the proposed development would result in capacity problems at the junctions. The junctions assessed are:

Viking Way/CLR roundabout
Barn Road/ Clayton Bypass/Belgrave roundabout
Rood Hill/A54 signal junction
Clayton Bypass/West St/Davenport St

The results of the capacity assessments indicate that all of the junctions operate within capacity levels with the exception of Rood Hill where the junction is at capacity. However, the increase in queue length is minimal and is not significant to warrant objection.

In summary, the introduction of the CLR has (as intended) improved matters within Congleton by re-assigning through traffic away from the previously congested junctions thereby providing enough capacity to cater for the allocations in the Local Plan.

Policy 5.235a of the Council's Local Plan states: "The Council's stated aims for the delivery of the sites to the north of Congleton are that they should be delivered on a comprehensive basis in line with the North Congleton Masterplan. The site cannot be comprehensively delivered without additional highways capacity provided by the proposed Congleton Link Road." The Transport Assessment submitted for this development confirms this is the case.

This Policy then goes on to state the need to be mindful of the costs of bringing the site forward in such circumstances and will consider alternative affordable housing provision where it is demonstrated through robust viability evidence that 30% affordable housing would render the development of the site unviable (in line with paragraph 7 of LPS policy SC5 (Affordable Homes)."

In June 2016, at its Cabinet Meeting, the Council agreed to underwrite the funding of the Congleton Link Road. The level of any funding shortfall depends on the scale of contributions achieved from developments in the North Congleton Area.

A recent independent assessment of the viability of the sites in the North Congleton Area to deliver the requested contributions has been undertaken as part of the Delivery Strategy for the CLR. Negotiations with the developer have agreed that a contribution of £15,000 per dwelling will be made available (index linked) subject to a reduction in the provision of Affordable Housing to 17.5%. This level of contribution is considered acceptable and is in line with the recommendations of the independent viability work and previous resolutions of the planning committee. This site would form the last of the five large developments originally earmarked to make a significant financial contribution to the link road.

It has been agreed that the Link Road contribution will be limited to plots A&B (which formed the larger original strategic site allocation) this has been agreed that 286 houses will contribute £15,000 each to the Congleton Link Road: generating a total contribution of £4,290,000.

Accessibility

The proposals indicate that the development on the eastern side of Viking Way will be served by a 3m shared ped/cycle facility and the western side would have a 2m footway.

The revised plans now indicate that the requested shared pedestrian/cycle facility has been provided that runs alongside the main road alignment within the site and connects with the Greenway and also links the developments at the southern end of the site adjacent to plot 204.

To improve accessibility it is important that both sides of Viking Way has a 3m shared pedestrian/cycle facility and this should be provided as part of this application. There is already a shared 3m wide cycleway on the eastern side of Viking way built as part of the link road. It will be necessary for the development to provide a similar facility on the western side of Viking Way along the frontage of this application connecting to the path being provided by the adjacent site to the north (application 21/4440C) and then connect to the Greenway to the south of the site.

Revised proposals to deliver cycle priority crossings have also been agreed with the applicant at the new accesses. These will need to be included in the S278 agreement for the construction of the new accesses.

The site should be developed comprehensively consistent with the allocation of uses as set out in Figure 15.30 and the principles of the North Congleton Masterplan. Development should integrate with the adjacent existing and proposed uses, particularly through sustainable transport, pedestrian and cycle links. The site benefits from the Greenway link that is being delivered by the adjacent development. The Council has a longer-term ambition, as included in the North Congleton Masterplan to cross the river Dane with a new bridge, joining, completing the Greenway across the site. The adjacent development has made a financial contribution towards this link of c£1000 per dwelling and it is considered that this development should also make a proportionate contribution. Contributions secured for Active Travel should be broadly described to ensure that they can be used for the benefit of the site.

The adjacent development sites on Viking Way (and off the A34) have provided contributions to a new bus service that will operate along Viking Way / Barn Road and also serve the A34 developments, it is expected that this development also provides a contribution to fund this service along with the delivery of two Bus Stops (The Bus stops provided as part of the adjacent application are some c400m away and are at the limit of acceptability)

In order to provide the site with access to public transport a new bus service is required, and it is reasonable for this site to provide a contribution to a service with other planned housing sites providing similar (proportional) contributions.

The additional bus could serve the new estates in the north of the town (not served by the commercial 38 or the current Beartown network) linking to the town centre and railway station. A cost estimate of £200,000 per annum has been supplied for this provision.

Based upon a 4-year contribution of 50% of the cost of running a bus service a contribution of £400,000 is required. The remaining 50% of the costs have been secured from the other developments within the North Congleton Local Plan allocations.

It is expected that given the level of development coming forward along the CLR the bus service would become a financially viable service in the future.

Summary

There are three points of access to the development off Viking Way which are designed to an appropriate standard and provides adequate visibility. The northern access that serves the highest number of dwellings has a ghost right turn lane, this would be secured by condition and delivered via a S278 Agreement. There will be no vehicular access to Giantswood Lane from the development, although an emergency access will be provided, and the construction details are required to be submitted for this proposed access.

A number of junction capacity assessments have been undertaken on the road network, the results indicate that there are no significant capacity problems that will cause long queues and congestion. It is important to note that the capacity assessments were undertaken with the CLR in place which has provided additional capacity and reassigned some of the traffic away from the A34. This development should make a contribution to the CLR as required in the policy. The Council will seek contributions to be made on a retrospective basis due to having to fund the CLR scheme.

Ensuring accessibility is provided to development sites is important and the applicant should provide a Shared footway / cycleway along the frontage of the site on the western side that links to the adjacent site ped/cycle facility and also to the Greenway.

In principle the application is acceptable subject to the provision of a frontage 3m footway/cycleway on the western side of Viking Way, introduction of an emergency access only to Giantswood Lane and contributions to the Congleton Link Road, Active Travel improvements and Public Transport support.

Developer contributions towards the Congleton Link Road: Congleton Green way Link and / or wider Active Travel measures; the bus service and 2 bus stops are required, together with a number of conditions/informatives. All are set out at the end of the report.

Public Rights of Way/Cycle routes

The Public Rights of Way Team originally objected to the application due to the proposed changes to Hulme Walfield (Foot Path) FP 7 which appeared to be being amended on the plans.

The applicant has subsequently submitted a Footpath Diversion Overlay Plan and have confirmed they want to seek a formal diversion on this amended route which follows a similar line and is largely accommodated in areas of open space. The PROW Team have now confirmed they withdraw their objection but have recommended a condition and informative.

On a more general level, footpath/cycle ways have been incorporated into the design, as picked up in the Highway comments. In Parcel A west of Barn Road the route runs along the river frontage and runs along the southern boundary linking into the site, and into the cycleway approved in developments to the south. With the parcels to the east the route follows the water course in the centre of the site, then running along the areas of open space and along the southern boundary linking into the existing footpath (FP 7) referenced above. The routes logically link all parts of the site and re-enforce the east west linkages across North Congleton. The comments of the Fishing Club are noted about not allowing cycle access onto the private road, and although this is disappointing, this can be addressed through detailed design which can be conditioned.

The comments of the Parish Council about a S106 contribution towards footpath improvements to the south are acknowledged (and understood), however as they are some distance from the site boundary, they would be difficult to justify, and are unlikely to meet the CIL Regulations. It is not therefore recommended that this is included.

Landscape

The proposed areas of development are sited within land designated for development in the Local Plan Strategy as LPS 27 Congleton Business Park Extension. The applicant has submitted a Landscape and Visual Impact Assessment (Chapter 6 Landscape and Visual), Landscape Strategy Masterplan, Design and Access Statement and Design Code, and a Arboricultural Impact Assessment.

There are a number of inconsistencies between these documents which should be rectified and was recommended that the following amendments were made to the Landscape Strategy Masterplan prior to permission being granted.

1. Public rights of way proposals to be confirmed and included on the Landscape Strategy Masterplan to comply with CELP Policy SE1 - Design and the North Congleton Masterplan.
2. Adjust design proposals to allow for the retention of all of existing woodland W1 and Hedgerow H4 to comply with CELP Policy SE4 – The Landscape, and SE5 – Trees, Hedgerows and Woodland.
3. Buffer Zone along the northern boundary of the proposed development next to the A356. To comply with CELP Policy SE4 – The Landscape, a more substantial and continuous belt of native tree and shrub planting with individual trees, (including the section of the site boundary to the north of proposed attenuation ponds) would be preferable to the proposed areas of native tree planting and individual trees to soften, screen and integrate the proposed development's urban edge into the local landscape and complement the character of the adjacent Landscape Character Areas.

A number of minor updates are required to the Management and Maintenance Plan.

The applicant has sought to address these comments in revised proposals and the Landscape officer's comments are awaited.

If the application is approved, it is recommended that landscape conditions are applied.

Trees

The application was supported by an updated Arboricultural Impact Assessment and Method Statement dated 28th September 2023 (and subsequently updated). The updated plans reflected amendments which seem to provide for the retention of an increased number of moderate quality trees, and the diversion of the footpath around woodland W1 which reduces impacts.

Hedgerow losses remain unchanged, and it is considered that for completeness in the assessment and determination of this planning application, as hedge loss is involved the hedgerows should be assessed against the criteria in the Hedgerow Regulations 1997 in order to ascertain if they qualify as 'Important'. The Regulations require assessment on various criteria including ecological and historic value. Should the hedgerow be found to be 'Important' under any of the criteria in the Regulations, this would be a significant material consideration in the determination of the application. Hedgerows are also a habitat subject of a Biodiversity Action Plan. Notwithstanding this, should the hedgerows be found to be 'important', while retention where possible should be the default position, should it be demonstrated that hedge losses are unavoidable, then it's accepted that appropriate levels of mitigation appear to have been provided within the metric provided.

There were concerns regards some of the detail on the drainage strategy plan by Castle Green (Rev A dated 23/8/23) which didn't seem to have been considered within the Arboricultural Impact Assessment and Method Statement. Proposed Surface Water drainage is shown to pass through the RPAs of Trees T1 - T5 and the northern end of group G10 where it appears to pass through closed canopy cover discharging into the River Dane. No detail was provided to demonstrate the technical feasibility of installing drainage in close proximity to retained trees.

Clarification was required as to whether the dashed light blue line described as Culvert/Pipe in the key on the drainage strategy plan is existing or newly installed as this would also present additional and unconsidered conflicts. The Plan was annotated to suggest that the dashed line represents 'existing culvert to be diverted'. If this is the case, what works are likely to be required in close proximity to trees and woodland presently shown for retention.

Consideration should be given to appraising the drainage strategy plan within the AIA and AMS to confirm whether any additional impacts are likely to arise which are not presently obvious.

Revised submissions have recently been received, including confirmation that levels do not need to amended in the proximity of retained trees, and drainage should not impact on the RPA's, and as such there no objections are raised to the development with regards to tree impacts. A number of conditions are recommended, that could be reduced if the AIA/AMS is updated accordingly.

Ecology

Statutory designated Sites

The application site falls within Natural England's SSSI impact risk zones. It is therefore advised that Natural England must be consulted on this application to advise on the potential impacts of the proposed development upon statutory designated sites. They have been consulted and updated comments are awaited.

Non-statutory Sites

The 'Field at Hulme Walfield' Local Wildlife Site (LWS)

The 'Field at Hulme Walfield' Local Wildlife Site is present within the red line boundary of the application site. Sites of this type receive protection through Local Plan Core Strategy Policy SE3. This local wildlife site may potentially be affected by; direct habitat loss, hydrological changes, and inappropriate access and usage resulting from the proposed development.

A hydrogeological Impact Assessment has been undertaken which includes consideration of the potential hydrological impacts of the proposed development upon the Field at Hulme Walfield Local Wildlife Site. The assessment concludes that any dewatering during the construction phase within 66m of the boundary of the Local Wildlife Site will result in a reduction in the water table beneath it, which would have an adverse impact on the habitats for which the LWS was selected.

In order to mitigate this impact the Environmental Statement (ES) recommends that no dewatering is to be undertaken during construction within a 66m easement from the boundary of the LWS. The applicant has confirmed that no dewatering within 66m of the Field at Hulme Walfield LWS is proposed. It is recommended that this be made a condition in the event that planning permission is granted.

The ES advises that 3,300 square meters of this LWS would be lost to the access road that passes through it and the construction of the attenuation basin also now proposed within the LWS. It is advised that this loss of habitat would result in a significant direct adverse impact upon the Local Wildlife Site.

There may also be construction phase impacts relating to noise and air and water pollution. The LWS may also be degraded through inappropriate access, artificial lighting and dog fouling during the occupational phase.

It is advised that the proposed development is likely to result in a significant adverse impact upon this LWS. Local Plan policy SE3 (4) applies to the determination of this application.

The Council's Ecologist has advised that impacts on the LWS should be avoided through the redesign of the scheme to avoid the routing of the proposed access road through it. This harm

regrettably is unavoidable, as the LWS divides parcels B from parcels C & D and if the layout were to be amended to remove this link there are two major consequences:

- Permeability across the site would be removed, contrary to the Local Plan and Masterplan aspirations to improve connectivity east west in North Congleton.
- Access to parcels C & D would have to come from Giantswood Lane which is strongly opposed by local residents and the Parish Council as Giantswood Lane is considered (by them) totally unsuitable to accommodate further traffic on the scale proposed.

The access road has been located at the northern end of the LWS, adjacent to the CLR to minimise any harm.

There should be no lighting proposed within the vicinity of the LWS. The application proposes to limit public access to the LWS. If planning consent is granted proposals should also be secured for the provision of interpretation boards detailing the value of the LWS and the provision of dog waste bins.

The submitted landscape plans include tree planting within the LWS. Tree planting would have a detrimental effect upon the marsh grassland for which the LWS was selected and so it is advised that this tree planting should be removed from the submitted landscape plans. The applicant has amended the plans accordingly.

The River Dane (Radnor Bridge to Congleton) Local Wildlife Site (LWS)

The River Dane (Radnor Bridge to Congleton) LWS is located adjacent to the site's western boundary. The ES Addendum advises that no outfalls to the River are required as part of the proposed development.

Regardless of the location of the outfalls there remains a risk of damage to the River Dane LWS occurring during the construction phase. The ES proposes the installation of Heras fencing to safeguard the LWS during the construction phase together with measures to reduce construction phase pollution risks. If planning consent is granted these measures could be secured by means of a condition that requires measures to safeguard the LWS to be incorporated into a Construction Environmental Management Plan.

There are a number of other Local Wildlife Sites located further from the boundary of the application site. The ES concludes that the proposed development may result in an adverse impact upon these as a result of dust, pollution, noise during the construction process. Impacts on these more distant LWS could be mitigated through the submission and implementation of a Construction Environmental Management Plan. This matter may be dealt with by means of a condition if planning consent is granted.

Priority Woodland Habitats

The proposed cycle way route has been revised to avoid any impacts upon the existing priority woodland habitat.

Hedgerows

Native hedgerows are a priority habitat and hence a material consideration. The ES advises that the proposed development would result in the loss of 256m of existing hedgerow. It is advised that this would result in a significant loss of hedgerow biodiversity. In order to avoid this loss, it is advised that the development proposals must look to maximise the retention of existing hedgerows.

If hedgerow loss is considered unavoidable, then the loss must be compensated for through replacement native species hedgerow planting. The extent of replacement hedgerow planting required can be assessed through the use of the biodiversity metric discussed below. The metric shows that the proposed landscaping scheme would result in a substantial gain for hedgerows.

Great Crested Newts

A number of ponds are located within 250m of the proposed development and the presence of a population of great crested newts has been confirmed at one pond some distance from the application site. The proposed development will mainly affect habitat of low value for great crested newts.

Considering the distance between the pond and the application site, the nature of the intervening habitats and the extent of habitats affected by the development it is advised that the potential impacts of the proposed development are limited to the low risk of any newts that venture onto the site being killed or injured during the construction process. In order to address this risk the Environmental Statement has recommended a suite of 'reasonable avoidance measures'. Provided these measures are implemented the proposed development would be highly unlikely to result in a breach of the Habitat Regulations. Consequently, it is not necessary for the Council to have regard to the Habitat Regulations during the determination of this application.

If planning consent is granted a condition should be attached to ensure the proposed development proceeds in strict accordance with the Great Crested Newt Reasonable Avoidance measures detailed in the submitted Environmental Statement.

Common Toad

This priority species was recorded on site during reptile surveys undertaken on site. It is advised that the proposed development would result in a low-level adverse effect on this species as a result of the loss of terrestrial habitat and the risk of animals being killed as a result of site clearance and construction works.

The implementation of the great crested newt avoidance measures detailed above would also reduce the risk of toads being killed during works. The incorporation of a wildlife pond designed to hold permanent water would provide additional breeding habitat for this species as a means of compensating for the loss of terrestrial habitat. The applicant has however advised that they are unable to provide such a pond as part of the proposals. The incorporation of hibernacula for

toads could however be secured through the ecological enhancement condition recommended below.

Badgers

Two badger setts were recorded as part of the submitted surveys. An outlier sett is present within the application site and a main sett is present some distance from the boundary of the site.

In order to avoid badgers being harmed during the proposed works the outlier sett will be temporary closed during the construction phase. There will be a loss of suitable foraging habitat for badgers as a result of the proposed development that will result in a minor adverse impact on this species.

As the status of badgers on a site can change in a short timescale, it is recommended that if planning consent is granted a condition be attached which requires the submission of an updated badger survey and mitigation strategy prior to commencement.

Hedgehog and Polecat

There two priority species have previously been recorded in general area of the application site and may occur on the application site on at least an intermittent basis. It is advised that the proposed development would result in a minor adverse effect on these species through the loss of habitat and the risk of animals being killed or injured during the site clearance and construction phase.

The implementation of the great crested newt avoidance measures detailed above would reduce the risk of these species being harmed during the construction phase. Features for hedgehog can be secured through the ecological enhancement condition detailed below.

Bats

Roosts associated with buildings

A bat roost was previously identified as being associated with one of the buildings on site. This building is now outside the red line of the application. No impacts on roosting bats associated with the buildings on site are therefore anticipated.

Roosts associated with trees

The ES states that no trees with potential to support roosting bats will be affected by the proposed development. Further information on the surveys undertaken of the trees on site has been provided. It is advised that the proposed development is unlikely to affect roosting bats associated with trees.

Bat activity

The submitted bat survey report highlights the River Dane corridor, the hedge line north of the 'Field at Hulme Walfield' LWS and its links to the adjacent woodland, and static location 1v1 as bat activity hot spots.

These bat activity hot spots would not be directly affected by the proposed development; however it must be ensured that these parts of the site are no subject to light pollution as detailed below.

Lighting

To avoid any adverse impacts on bats, and other ecological receptors, resulting from any lighting associated with the development it is recommended that a detailed lighting scheme be submitted in support of this application.

Barn owls

No evidence of this species recorded on site. Consequently, this species is not reasonably likely to be present or affected by the proposed development.

Otter and water vole

Otter field signs were recorded on the Dane during the submitted surveys, but no holts were identified. It is advised that the proposed development may result in increased disturbance of this species, but this is unlikely to be sufficient to amount to an offence.

No evidence of Water voles was recorded. Consequently, this species is not reasonable likely to be present or affected by the proposed development.

Birds

A number of breeding birds were recorded on site including a number which are priority species and hence a material consideration.

The proposed development will result in a minor adverse impact upon birds as a result of the loss of habitat and increased disturbance.

The loss of habitat for nesting birds can be compensated for through the provision of replacement habitat on site which can be assessed through the biodiversity metric discussed below. If planning consent is granted a condition would be required to safeguard nesting birds:

Reptiles

No evidence of reptiles was recorded during the submitted survey. This species group if therefore unlikely to be present or affected by the proposed development.

Invasive non-native species

Himalayan balsam and Japanese knotweed are present on site. These species could be controlled through the implementation of a management plan. This matter may be dealt with by means of a condition if planning consent is granted.

Biodiversity Net Gain

In accordance with Local Plan policy SE3(5) all development proposals must seek to lead to an overall enhancement for biodiversity. In order to assess the overall loss/gains of biodiversity the applicant has undertaken and submitted an assessment undertaken in accordance with the Defra Biodiversity 'Metric'.

The previous iteration of the submitted Biodiversity Net Gain metric showed that the metric 'trading rules' were not satisfied, this occurs when there is failure to replace lost habitats with replacement habitats of the required quality. The metric has been re-run, replacing 0.05ha of neutral grassland with broad-leaved woodland planting, this is sufficient to overcome the down-trading issue and the metric shows that the proposed development would result in a 5.34% net gain for area based habitats and 123.6% for hedgerows.

The substitution of the previously proposed grassland for woodland planting is not however reflected on the submitted landscape plans, therefore revised landscape plans would be required prior to the commencement of development. This can be dealt with by condition.

Notwithstanding the submitted management plan, if the planning consent is granted a condition would be required to secure the submission and implementation of a habitat creation method statement, 30 year habitat and monitoring plan which demonstrates how the habitat creation targets in the metric would be delivered.

This planning application provides an opportunity to incorporate features to increase the biodiversity value of the final development in accordance with Local Plan Policy SE3.

It is therefore recommended that the applicant submits an ecological enhancement strategy prior to the determination of the application or if planning permission is granted a condition should be attached which requires the submission of an ecological enhancement strategy.

A list of some 10 conditions are recommended.

Urban Design

Integrating into the Neighbourhood				Distinctive Places				Streets for All			
1 Natural Connections	2 Walking, cycling public transport	3 Facilities and services	4 Homes for everyone	5 Making most of what's there	6 Memorable character	7 Well defined streets/spaces	8 Easy to find your way around	9 Healthy streets	10 Cycle and car parking	11 Green and blue infrastructure	12 Back of pavement, front of home
*1	*1	*2									

*1 subject to satisfactory connection to greenway/addressing concerns of PRoW team

*2 subject to Local centre coming forward

Summary

The scheme has been further refined and has the potential to deliver a high-quality development on this significant site within the North Congleton development area. The improvement is reflected in the outcome of the latest design evaluation, summarised above.

Notwithstanding, there are certain considerations that remain amber or are caveated green due to the level of information provided, potential limitations due to matters beyond the direct control of the applicant (e.g. pedestrian connectivity beyond the site boundary), and where there is still scope for improvement in respect to the design itself. Whilst there has been considerable strengthening of the scheme since the application was first submitted, addressing these would help secure more greens and an even stronger proposal.

A more detailed analysis for each consideration has been provided below.

1 Natural Connections

- For the eastern part of the site, within the site boundary, connection points are now indicated by foot/cycle to the east/west greenway in the south of parcel B, toward the Congleton link road footpath/cycleway to the north from parcel C and through the open space area to the east of the woodland, south of parcel D. intended to connect to the Fishing Club access and the route of the east/west greenway. As these are indicated as potential links on drawings, notwithstanding land ownership, then there needs to be concerted effort to secure these connections. Connecting with the fishing club access would connect to Hulme Walfield FP4 and the intended route of the east/west greenway on the Bloor and Redrow schemes.
- Connection points are now shown to the north and southeast in Parcel A, providing future potential connectivity to the riverside and employment area in the north and to the east/west greenway to the southeast.
- Strong internal connectivity is included between parcels B, C and D. Parcel A is a little disconnected from the other parcels by Viking Way
- Hulme Walfield FP7 is accommodated within a more purposeful space, providing connectivity to the eastern, Woodland LEAP and other informal trim trail play. However, the (original) concerns of the Councils PRoW team are noted.

2 Walking, cycling and public transport

- Comments as above re: key strategic walking and cycling routes.

- More information could be provided re: public transport. It is assumed bus stops will be on Viking Way and in association with the proposed nearby local centre, but the northern part of the site off Giantswood Lane is quite isolated from this likely route.

3 Facilities and services

- The scheme includes 2 LEAPS and 2 LAPS, whilst further informal play is provided within areas of open space including trim trails in several areas alongside pedestrian routes.
- A variety of amenities are proposed as part of the wider site allocation, including a local centre. There is also a proposed new junior school site and local retail to the north-east of the Redrow scheme off Manchester Road. There are a number of existing amenities/facilities within a 15-minute walk of the site, including primary schools, employment, and retail. The land to the north of the southern parcel is allocated for future employment.

4 Homes for everyone

- There are a variety of property types and tenures within the scheme. The DAS sets out the affordable housing provision and its compliance with policy net of contributions toward the Link Road. A total of 83 (21%) affordable homes are to be provided, ranging from 1 bed Maisonettes to 3 bed houses.
- A plan showing the distribution of affordable housing would be beneficial.
- The number of private 2 bed units is quite modest for a scheme of this size.
- It is unclear what the provision is for the elderly/infirm within the private housing proposed.
- Unit floor areas are provided, and the scheme meet NDSS standards.

5 Making the most of what's there.

- Mount Pleasant Farm is being retained and the latest design seeks to create a more characterful layout adjacent, with detailing more reflective of the relationship to the retained farm buildings. It is unclear however what the proposed dividing boundary is to the farmhouse garden, especially where adjacent to the emergency access, as it could potentially undermine if inappropriate.
- SuDS in the form of swales and basins are proposed along the southwestern edge of parcel B, and elsewhere to help achieve the wetland characterisation of the Viking Way Corridor and the gateways into the development off Viking Way, but as noted below, these are dry rather than wet features, which will limit their impact. The potential for inclusion of rain gardens within verges/open spaces is identified across the development at various points. This should be secured, as it will help further reinforce the wetland characterisation of the site.
- The SuDS feature adjacent to the local wildlife site seems quite engineered and dry when this should be a more natural wetland feature.
- Existing landscape features are being integrated e.g. the ditch/watercourse running through parcel B, and the scheme is laid out to form a positive relationship to it. However, the short section of open ditch in front of plots 284-6 is still proposed as being culverted, when daylighting would be a better approach.
- It is still unclear how the site topography might help foster a sense of place. What are the strategies for dealing with levels and how will that be handled at the plot level? Cross sections and other levels information would help to explain that. Stone walling/retention could be used to help achieve this as elsewhere in the town.

- Is the hedgerow to the south of parcel B being retained? The drawings seem a little unclear (i.e. the discrepancy between parcel B site layout, detailed landscape and landscape masterplan drawings – only the latter infers retention).
- There is still no real evidence of consideration of the passive environmental opportunities presented by the site and this influencing the design.

6 Memorable Character

- The natural features within and adjacent to the site will play a significant part in establishing its sense of place.
- Overlaying this, the character areas, now with a waterside character area in parcel A and small farmhouse character area in parcel D will help to reinforce a sense of distinctiveness. However, as discussed previously, the detailing of house types in the Farmhouse and adjacent Cheshire Rural character area are quite similar, and the Farmhouse character area could have been taken a little further to reinforce that relationship, including in the quality of materials.
- More could also have been done to create more distinct focal buildings in the scheme to reinforce character and legibility.
- Urban spaces in Parcel A could have been further strengthened by stronger enclosure, and perhaps stone could have been utilised within boundaries for some spaces/gateways (but not as stand along pillars at vehicular entrances as presently proposed).
- There remain a couple of areas where car parking could be overly dominant and successful, quality landscaping is crucial to mitigate this.
- There is still some concern re: roofscape. This is illustrated by example street scenes in the DAS where there are examples of hipped roof forms sitting a little awkwardly against gabled types. Chimneys have been incorporated into some areas/types to help punctuate roof lines. For longer terraced blocks more than one chimney stack is necessary to do this successfully.
- Whilst some plots in the Waterside character area now include Juliet balconies, this could have been more extensive and potentially expanded to other character areas with a strong relationship to natural features e.g. the woodland area and overlooking the retained watercourse. It is also unfortunate that balconies do not extend to walk/sit on types.
- the L shape house type adjacent to POS has been designed out, which is welcomed.

7 Well defined streets and spaces

- For the most part, the layout is outward looking, based around perimeter blocks. Whilst further improved, there remain a couple of weaker points in the layout where alignment of street/positioning of buildings creates more awkward, irregular areas of space at the street edge. The most noteworthy being plots 282 and 3.
- The DAS advises that corner turning designs have been included for all relevant locations but a plan identifying this would have further assisted evaluation. Bays on ground floor could be used to strengthen key corners.
- More landscaping information is included to indicate how landscape design contributes to defining the transition between public and private areas. Positive treatment of the space, between street and built edge, is essential and will further improve the scheme. As discussed above, as a stone town, natural stone could be utilised as part of the palette of boundary typologies and would help further reinforce local distinctiveness.

8 Easy to find your way around

- As noted in the previous assessment, the layout of the site is highly legible, and this has been further reinforced with a stronger character response.
- There are several memorable natural features within and adjoining the site that will help legibility, and the latest changes seek to exploit key views as part of the place creation, most notably long views toward the south and views through and out to the Dane.
- Whilst further work has been undertaken to develop a stronger approach to the character areas in terms of house types, perhaps this could extend to the treatment of the front garden space between house frontage and street edge, including use of natural stone walling in certain areas where properties define spaces or there is a change in level, as is typical in Congleton, particularly on its periphery.
- The amended approach to create a sub character area adjacent to the farmstead has strengthened the distinctiveness of the easternmost part of the site, but the detailing of properties could have been further developed.
- Public art and waymarking would help reinforce sense of place and navigation to key areas and routes, such as the riverside and east-west greenway, co-ordinating with the approach on neighbouring sites. It could also be expressed in the play provision on site. This could be dealt with by condition.

9 Healthy streets

- A street hierarchy plan is included in the DAS/code.
- The scheme includes speed control along the length of the Avenues, including feature spaces. The narrowing proposed between parcels B and C should be better detailed though, incorporating landscaping and a crossing point if the footpath on the northern side of the Avenue is retained (but perhaps it would be better to remove that section of pavement and relocate the trim elements to the southern verge?)
- The eastern Avenue has been extended on the northern side into parcel D but it breaks down a little in part. It would help if vehicular crossovers could be broken up a little more and a further tree included in verge to strengthen this section. It might also be possible to get a further tree in the square adjacent to plot 366. In relation to the emergency access to Giantswood Lane, the edge adjacent to the existing farm needs to be positively landscaped (the space available toward Giantswood Lane is quite limited).
- The avenues should be as heavily tree lined as possible, and there are locations where additional trees could be included. Where possible, street trees for this route should be in verge and not private gardens to reflect the Cheshire East Design Guide. Where trees are shown they need to be deliverable (i.e. not in service strips or in too small a space)
- The tree planting in avenues need to extend to the street edge of Viking Way, not start at the site boundary. The entrance post features should also be omitted.
- As with the Avenues, there are opportunities to locate some additional trees in secondary and tertiary street types.
- Street materiality is reflective of the CEC design guide, but some refinement is necessary and a hard landscape/materiality drawing separate from the landscape masterplan would have been of assistance. This could be finalised via planning condition if necessary.

10 Cycle and car parking

- Frontage car parking has improved compared to the earlier layout but there are still a couple of areas where the frontage parking could dominate, and strong frontage landscaping is essential to prevent that.
- Cycle parking is now indicated at the key spaces/nodes in the development e.g. at the major play spaces and cycle stores are indicated for smaller plots without garaging on the planning layout (presumably garages are designed to enable cycle storage?).
- Visitor parking has been integrated into the scheme across the site.

11 Green and blue infrastructure

• Play provision is provided as 2 LEAPs and 2 LAPs and is supplemented with trim trails in several locations adjacent to key footpath/cycle routes (see comment above about that between parcels B and C), however, it is still a little unclear whether the design of play elements is informed by the character of the site and for the western area especially, the relationship to the river. • The ditch/watercourse is positively addressed within parcel B. There is one direct crossing indicated but the landscape masterplan hints that it is not a definite connection describing it as “potential bridge crossing point to be implemented if required”. This bridge is important to promote connectivity and interaction with the watercourse. • SuDS have been enhanced within the scheme and potential rain garden locations have been included across the site. It is essential that these are designed as sympathetically as possible to help elevate the character and appearance of the development. So, it is disappointing that all of the larger SuDS are designed as detention basins rather than as water holding ponds, including that adjacent to the LWF site, which appears quite deep and engineered, rather than a more natural wetland area. More information on the SuDS design, their landscaping, profiles etc. is therefore considered necessary. and they should be designed to hold water if possible. • How is the LWS to be screened off to prevent public access? • The existing short ditch that runs through the site to the east of parcel B is still shown as being culverted, which is unfortunate. This could have been retained to help create a transition between character areas. • A management and maintenance plan has been provided, which confirms it will be in place for the lifetime of the development. There seems to be no specific management regime identified for rain gardens, which leads to concern as to whether rain gardens will be delivered within the scheme. • As commented previously, local food growing could be extended into different parts of the site (i.e. not just an orchard in parcel A), using this to help characterise parts of the scheme, for example the mini character area adjacent to the farmstead. • Landscape quality along the edges of the site is extremely important and needs to dovetail with that associated with the Link Road, Viking Way and Giantswood Lane. Whilst the planning layout shows off site landscaping, that seems quite schematic. How accurate is that? The combined landscape should be accurately presented to ensure off and on-site landscaping are adequate. There is potentially a pinch point in relation to the Link Road boundary adjacent to plot 364, but it is noted that the site is elevated above the link road at this point. • Who is going to be responsible for the pond area in the western part of the woodland? (as this seems to fall outside of this application site and that of Bloor). The entire woodland/pond area needs to be under positive management. It rests with the remainder of the woodland and the adjoining LWS and should be managed as such.

12 Back of Pavement Front of Home

- Bin storage positions aren't identified, although collection areas are shown on the latest revised site layout. Generally, gardens are large enough, even for smaller types, to store the required number of bins, however indicating this on the site layout would have been helpful to demonstrate this.
- Frontage boundary information is included on landscape drawings and in the DAS, although this could be enhanced by including stone boundary walling in certain locations, as part of the characterisation.

The applicant has sought to address some of these outstanding matters and the urban Design Officers comments on this are awaited. However, no significant issues are now raised, and some of the more detailed matters can be conditioned.

Noise / residential amenity

In support of the application, the applicant has submitted an noise impact assessment (NIA).

The NIA relates to the proposed site layout and corresponds to the applicants planning layout. Any amendments to the planning layout must comply with the NIA or the NIA maybe required to be reviewed accordingly.

The impact of the noise from traffic and industrial process on the proposed development has been assessed in accordance with:

- BS4142:2014 Methods for rating and assessing industrial and commercial sound
- Department of Transport document 'Calculation of Road Traffic Noise' (CRTN), 1988

An agreed methodology for the assessment of the noise source.

The report recommends noise mitigation measures (at section 3) designed to achieve BS8233: 2014 and WHO guidelines; to ensure that future occupants of the properties are not adversely affected by noise from industrial activity / transportation noise sources.

The reports methodology, conclusion and recommendations are accepted.

With regards to the layout and relationships to adjoining land, the only neighbouring property (in close vicinity to the site) is Mount Pleasant Farm and there are no amenity concerns from the layout. Properties on the approved Bloor Homes development are separated by a tree-lined hedgerow and watercourse, and there are no amenity concerns here.

Internally there are a few instances where there is a slight shortfall in the required privacy distances, however these are considered acceptable to achieve a good housing layout. To ensure the situation is not exacerbated on site a levels condition is recommended to ensure that there are no level changes of significance between properties.

Highways have mentioned the agricultural stub off Giantswood Lane which if retained could lead to amenity problems as vehicles could access immediately to the rear of proposed properties. As

the land is outside the control of the applicant and is no longer required for access once the site is in use for residential, it should be closed off to prevent vehicle access. A Grampian style condition is recommended in this regard.

Air Quality

The developer has submitted an air quality impact assessment that is acceptable to the Air Quality Team. However, there is a need for the Local Planning Authority to consider the cumulative impact of a large number of developments in a particular area. In particular, the impact of transport related emissions on Local Air Quality.

Congleton has three Air Quality Management Areas and, as such, the cumulative impact of developments in the town is likely to make the situation worse, unless managed.

Environmental Health would, therefore, recommend conditions requiring Low Emissions Boilers & Electric Vehicle Infrastructure.

Contaminated Land

The application is for a proposed use that would be particularly vulnerable to the presence of contamination.

Residential developments are a sensitive end use and could be affected by any contamination present or brought onto the site.

It is noted that the farmhouse, Mount Pleasant, is no longer part of the application area.

The application area has been investigated in three phases with reports submitted for each:

1. Fields either side of Barn Road, dated March 2019 and dated July 2020
2. Land adjacent to Giantswood Lane dated November 2021
3. Land adjacent to Wolstenholme Elmy Way dated November 2020 and dated August 2021

Satisfactory Phase I Preliminary Risk Assessments (PRA) have been carried out for all three phases. Sufficient Phase II ground investigation and risk assessment has been carried out for phases 2 and 3.

With regards the phase 1 area, the report recommends further investigatory works. In addition, two photographs (location not detailed) in the PRA for this area indicated areas of potential contamination but were not mentioned in the subsequent ground investigation. These may need to be considered further and are:

- Plate 5 – construction waste and aggregate stockpiles
- Plate 14 – potential hydrocarbon impact in stream in centre of the site.

Given the above further investigation is recommended.

It is noted that no remedial measures are recommended for phases 2 and 3. A watching brief is recommended for made ground, potentially in areas such as former field boundaries or ponds. Environmental Protection are in agreement with this.

As such, and in accordance with paragraphs 174, 183 and 184 of the NPPF 2021, Environmental Protection recommend that conditions, reasons and notes be attached should planning permission be granted:

Education

The development of 394 applicable dwellings is expected to generate:

73 - Primary children (394 x 0.19) (- 2 SEN)
58 - Secondary children (394 x 0.15) (- 1 SEN)
5 - SEN children (394 x 0.51 x 0.023%)

The development is expected to impact on primary and secondary school places in the locality. Contributions which have been negotiated on other developments are factored into the forecasts both in terms of the increased pupil numbers and the increased capacity at primary and secondary schools in the area because of agreed financial contributions.

The analysis undertaken has identified that a shortfall of secondary school places remains. The Service acknowledges that this is an existing concern, however the 58 secondary age children expected from the development will exacerbate the shortfall.

Special Education provision within Cheshire East Council currently has a shortage of places available with at present over 47% of pupils educated outside of the Borough. The service acknowledges that this is an existing concern, however the 5 children expected from the development will exacerbate the shortfall.

To alleviate forecast pressures, the following contributions would be required:

$58 \times \pounds 17,959.00 \times 0.91 = \pounds 947,876.02$ (Secondary)
 $5 \times \pounds 50,000 \times 0.91 = \pounds 227,500.00$ (SEN)

Total education contribution: $\pounds 1,175,376.02$

Without a secured contribution of $\pounds 1,175,376.02$ Children's Services raise an objection to this application.

Flood Risk/Drainage

The Flood risk Team have requested additional detailed information with regards to drainage and commented that the latest proposals do not appear to fully utilize the potential for the site to make full use of SuD's. The applicant is looking at revising the proposals and amended

proposals were anticipated shortly at the time of writing the report, which the LLFA will need to look at. Members will need to be updated on this in an Update Report.

Public Open space

The Design & Access Statement Landscape Plan shows a network of open spaces connecting throughout the development area.

Through pre-application discussions the preferred locations for the two LEAPs have been achieved giving good natural surveillance. A couple of LAPs were proposed in Parcel B land however only one has materialised. The agreement of the two LEAPs were based on two LAPs being provided therefore a further LAP is required or one of the LEAPs increased to a NEAP.

All play space should collectively cater for all age ranges to Fields in Trust standards paying particular attention to accessibility, inclusivity with appropriate buffer zones. It is requested that each facility is themed appropriately to its location.

There are areas of open space, such as the local wildlife site which will not have public access however educational interpretation boards at pivotal points throughout the whole site would be most welcome. These areas should include woodland Green, wildlife site and open space in the south adjacent the River Dane.

SuDs systems need enough space to allow wildlife to enter and exit safely. SuDs should be permanently wet swales/ponds increasing the ecology of the development and not just form a SUDs function. These too could benefit from interpretation boards.

Any trees that need to be felled, as a result of the development which are suitable to be recycled on site for either sculpture, informal play or habitat creation should do so. Although the East-West Greenway is outside of the application site connections are proposed on the southern boundary. Developments along the Northern Congleton Masterplan area are helping to create a sense of place by incorporating nature-based art sculpture, rubbing posts and way markers to give the development a distinctive feel. To give continuity and create quality of place it is suggested these features could be incorporated into this development site.

Pathways should be ideally permeable resin bound gravel to maximise the accessibility with appropriate seating (some with arm rests and backs) along the route. A community orchard has been incorporated in Parcel A which is welcomed.

In terms of outdoor sports facilities, the proposal will increase demand on existing facilities and as such a financial contribution towards off site provision will be required. The financial contribution is required at a rate of £1,000 per family dwelling or £500 per 2 bed space plus apartment. The funds would be required on commencement of development and would be used in line with the Council's adopted Playing Pitch Strategy.

Additional information has been submitted to address ANSA's concerns and to clarify some matters in relation to play area buffers and which areas are proposed to be informal amenity

space (as opposed to SuDs features or wildlife protection areas, and ANSA's comments on this are awaited at the time of writing the report. It is however considered that any further amendments are capable of being addressed through conditions if needed.

Affordable Housing

Policy SC 5 (Affordable Homes) in the Cheshire East Local Plan Strategy (CELPS) sets out the thresholds for affordable housing in the borough. In residential developments, affordable housing will be provided as follows: -

- i. In developments of 15 or more dwellings (or 0.4 hectares) in the Principal Towns and Key Service Centres at least 30% of all units are to be affordable;
- ii. In developments of 11 or more dwellings (or have a maximum combined gross floorspace of more than 1,000 sqm) in Local Service Centres and all other locations at least 30% of all units are to be affordable;
- iii. In future, where Cheshire East Council evidence, such as housing needs studies or housing market assessments, indicate a change in the borough's housing need the above thresholds and percentage requirements may be varied;

The National Planning Policy Framework (2019), in paragraph 63, states that the provision of affordable homes should not be sought for residential developments that are not major developments. Major developments are defined as housing sites of 10 or more homes, or the site has an area of 0.5 hectares or more. The CELPS states in the justification text of Policy SC5 (paragraph 12.44) that the Housing Development Study shows that there is the objectively assessed need for affordable housing for a minimum of 7,100 dwellings over the plan period, which equates to an average of 355 dwellings per year across the borough. This figure should be taken as a minimum.

This is a proposed development of 398 dwellings in the settlement boundary of the Key Service Centre of Congleton. Therefore, there is a requirement to provide 120 (119.4) affordable dwellings for this application.

The site is located in the area of the Local Plan Strategy (LPS) site LPS 27 (Congleton Business Park). The LPS states that the affordable housing should be in line with policy SC5 of the CELPS. The applicant mentions in their Supporting Planning Statement that a portion of this land, parcels A & B, come under the Congleton Link Road (CLR) of the LPS. The CLR requires developments to provide a contribution towards the building of the link road. Due to a confirmed viability case, developments on the CLR are required to provide 17.5% affordable housing, with these being all Discount for Sale intermediate tenure dwellings with a 20% discount off the market value.

The applicant in the Supporting Planning Statement, goes on further to say that on parcels C & D there will be a policy SC5 compliant 30% affordable housing.

The applicant in the Supporting Planning Statement advises that they are to provide 85 dwellings which equates to 21% affordable housing provision across the whole site.

The statement breaks down the split of the provision to parcels A & B being 17.5% of 290 dwellings and parcels C & D being 30% of 108 dwellings.

Affordable Housing Mix

The current need for rented units show a total of 1028 on the Cheshire Homechoice register with Congleton as their first choice. From this data there is a need for 1, 2, 3, and 4-bedroom dwellings.

There is also a need for Intermediate Housing that will cater for those who cannot buy a property on the open market without the assistance of a discount scheme.

The applicant is proposing a mix of 1, 2 and 3- bedroom dwellings but does not provide information on the tenures proposed for these units. Housing would want to see a 4-bedroom rented provision as this is shown to be needed in the need data.

The Housing Supplementary Planning Document (HSPD) in paragraph 6.10, the Council's preferred split in tenures for Affordable Homes is 65% Rented and 35% Intermediate Tenures. From the 30% provision on parcels C & D the policy SC5 tenure mix equates to 22 Rented and 11 Intermediate.

The applicant has now advised that there will be 33 dwellings on parcels C&D which are to be affordable. This is now in line with CELPS policy SC5.

Of the 33 units the statement shows that the tenure split of the affordable dwellings is to be 21 rented and 12 intermediate. This now meets the HSPD policy requirement.

The applicant is now proposing to have 2no, 4-bedroom rented dwellings and so is now meeting the need for the rented accommodation.

The statement confirms that the affordable rented accommodation rates will be set at the level of the LHA. This meets the requirement in the HSPD.

Nationally Designed Space Standards (NDSS)

In the Site Allocations and Development Policies Document (SADPD) policy HOU8 point 3, new residential development in the borough should meet the Nationally Described Space Standards. All the affordable units are now to meet or exceed the Nationally Designed Space Standards. This is now in line with the SADPD policy HOU8.

Affordable Housing Statement

The HSPD states that all Full or Reserved Matters applications need to provide an Affordable Housing Statement. This statement will contain the elements required in paragraph 6.45 of the HSPD.

A full Affordable Housing Statement has now been provided and Housing have now confirmed they raise no objections to the application.

It is also noted that the Housing Team at the Council has been provided a letter from Torus Housing who are the Registered Provider for the development, stating that the Homes England grant has been secured for the non S106 Shared Ownership dwellings. With is this in mind, Whilst housing would like all the policy required affordable housing to be secured via a S106, this is not being offered by the applicant and cannot be required as this exceeds the policy requirements. For clarity, the S106 will not include the Shared Ownership that is over and above that required under the Cheshire East Planning and Housing policies.

Healthcare

The NHS have confirmed that the GP Practices affected by this large-scale housing development are: Meadowside Medical Centre, Lawton House Surgery, Reads Moor Medical Centre and the Holmes Chapel Health Centre. The GP Practices currently operate as part of a Primary Care Network (PCN) called CHOC. Overall, patient list sizes in the area have continued to increase without necessary provision to support the infrastructure of the Health Centres that service the population. Evidence is then provided showing the considerable strain in relation to capacity of premises the GP Practices are facing.

In order to mitigate that harm to local healthcare the NHS CCG are requesting a financial contribution of some £515,950 based on the number of houses proposed.

Archaeology

The application seeks to demolish the extant buildings at Mount Pleasant, having reviewed the historical mapping of the area it is clear that the east range of Mount Pleasant is depicted on the 1840 Tithe Map of the area. The other buildings at the site are then depicted on the first edition OS Map of the area (1874) suggesting that while the other structures are not on the tithe, they were constructed between the two maps.

It is likely that these buildings may have remaining historical materials which may offer information and evidence for the construction of the structures which is of interest to archaeology and therefore would require recording prior to the demolition. This recording should take the form of a Level II Building Survey as outlined by Historic England in their document "Understanding Historic Buildings".

Furthermore, the proposed development seeks to construct houses on the site of Mount Pleasant and therefore it is likely that the construction of these will disturb or destroy below ground archaeological remains relating to the earliest uses of Mount Pleasant. There should be a programme of archaeological observation during these works in order to identify and record any of these below ground features.

It is advised that the archaeological mitigation for this proposed development should consist of a Level II building survey prior to demolition, followed by a developer funded watching brief during

key stages of the development. These key stages include removal of top soils, excavations for foundations and excavations for services. This work may be secured by condition.

Jodrell Bank

Jodrell Bank have objected to the application, and indeed have objected to all the applications in North Congleton because of the impact on the radio telescope. However, this site was formally allocated in the Local Plan Strategy in full knowledge of the impacts on Jodrell Bank, and falls well within the outer zone of impacts. As such whilst this impact is regrettable it must be weighed in the planning balance with meeting the requirements of the Local Plan. Mitigation measures within properties to reduce the impact can be conditioned.

CONCLUSIONS

This is a full planning application for residential development of this site. The principle of residential development is in line with Local Plan allocation Site LPS 27, and is therefore accepted.

Highways have no objections, subject to a number of conditions and financial contributions. The Public Rights of Way team have now confirmed they have no objections subject to a conditions/informative, but highlighted the PROW will need to be formally diverted.

The Council's Landscape Officer has requested a number of amendments which have largely been achieved, and the Tree Officer – whilst seeking some clarification regarding conflicting plans is raising no significant concerns.

The Council's Ecologist has raised the issue of harm to a Local wildlife Site caused by the construction of an internal access route linking two parts of the site, which is noted, however this needs to be looked at in the overall planning balance. Clarification was sought on the Biodiversity Net Gain (BNG) calculations which have now been resolved.

Extensive discussions have taken place in relation to urban design. Revised plans have been received and the Council's Urban Design Officer is now largely supportive of the scheme. Some additional amendments have been made to address some (relatively minor) outstanding matters, and it is hoped that the Design Officer can confirm that these changes largely address outstanding matters.

Perhaps the main issue outstanding on this application is in relation to drainage/flooding. The LLFA have indicated that the applicant has shown the site can be adequately drained, but that SuDs is not accommodated as well as it should – a point made by UU. Members will need to be updated on this matter.

ANSA have raised in number of detailed comments on POS provision which the applicant has sought to address. Members will be updated accordingly when revised ANSA comments are received.

Following the receipt of an Affordable Housing Statement, with clarification of the tenure mix and that all properties meet the NDSS standards, Housing have now confirmed that they raise no objections.

Jodrell Bank have objected on the grounds of harm to the Observatory, however this needs to be seen in the overall planning balance.

Finally other matters such as Education, Healthcare, Archaeology, Contaminated land/Air Quality/Amenity can be addressed by contributions/conditions.

Whilst there is some harm to Ecology and Jodrell Bank, this is considered to be outweighed by developing this allocated site and the benefits this brings.

SECTION 106

A Section 106 Agreement is required to secure the following:

S106	Amount	Trigger
Affordable Housing – On site provision	<ul style="list-style-type: none"> - 17.5% or 30% of total number of dwellings shall be affordable (rounded up) depending on parcels as Parcels A & B make a CLR contribution - Affordable Housing split 65% and Affordable Rented Housing and 35% Intermediate Dwellings - Retained as Affordable 	To be completed before 50% of the market housing is sold or let
Education contribution	£1,175,376.02 towards Secondary and SEN provision	50% on first occupation, 50% on 50% occupation
NHS Healthcare contribution	£515,950 towards primary healthcare in local GP practices N/B Figure may need a slight revision as number of units has been revised downwards since submission.	50% on first occupation, 50% on 50% occupation
Congleton Link Road	£15,000 per dwelling (for Parcels A & B)	50% on first occupation, 50% on 50% occupation.
Congleton Greenway	£450,000	Prior to first occupation
Passenger transport Service	£400,000	50% on first occupation, 50% on 50% occupation
Bus Stops	£25,000	Prior to first occupation
Open Space – On site delivery	- Submission/approval of an Open Space Scheme in accordance with Parameters Plan/s	Prior to commencement

	- Provision of community orchard, management & maintenance	Prior to occupation of no more than 50% of the dwellings
Open Space – Management	- Submission/approval of Management and Maintenance Plan - Establishment of a private management company to manage & maintain the relevant POS in perpetuity.	Prior to commencement Prior to first occupation
Outdoor Sport contribution	£1000 per family dwelling and £500 per 2+ bed apartment towards additions, improvements and enhancements in line with the Council's Playing Field Strategy or subsequent adopted policies	Prior to first occupation

CIL REGULATIONS

In order to comply with the Community Infrastructure Levy (CIL) Regulations 2010, it is necessary for planning applications with legal agreements to consider the issue of whether the requirements within the S106 satisfy the following: a) Necessary to make the development acceptable in planning terms; a) Directly related to the development; and b) Fair and reasonably related in scale and kind to the development. It is considered that the contributions required as part of the application are justified meet the Council's requirement for policy compliance. All elements are necessary, directly relate to the development and are fair and reasonable in relation to the scale and kind of development. The non-financial requirements ensure that the development will be delivered in full. On this basis the S106 the scheme is compliant with the CIL Regulations 2010.

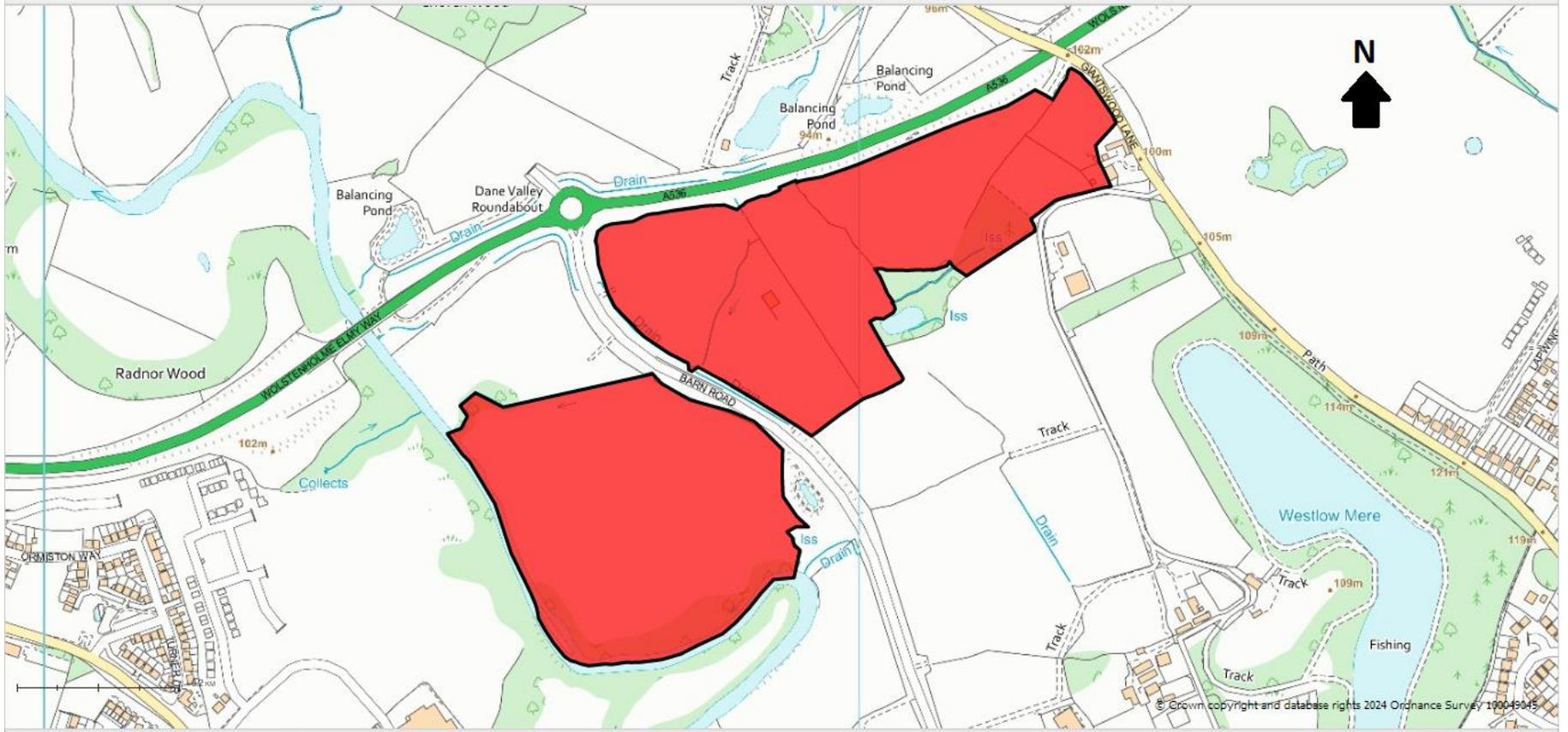
RECOMMENDATION

Approve subject to the signing of a Section 106 Agreement and the following conditions;

- 1. Standard 3 year consent**
- 2. Approved Plans**
- 3. Materials**
- 4. Landscaping**
- 5. Implementation of landscaping**
- 6. Submission of Landscape and Ecology Management Plan**
- 7. Tree protection and special construction measures as identified in the latest AIA/AMS**
- 8. No Dig - Non Standard for areas involving hard surfacing adjacent to retained trees**

9. Site Supervision – Non Standard following recommendations of AIA/AMS
- 10.Noise mitigation in accordance with the acoustic report
- 11.Electric Vehicle Infrastructure
- 12.Low Emissions Boilers
- 13.Submission of a Contaminated Land Phase II investigation.
- 14.Submission and approval of a Verification report
- 15.Control over imported soils
- 16.Requirement to inform LPA if unexpected contamination found
- 17.Submission of Construction and Environmental Management Plan to include hours of construction
- 18.10% renewable provision
- 19.No dewatering to take place within 66m of the Field at Hulme Walfield Local Wildlife Site.
- 20.Fencing to be erected on site prior to commencement of development in accordance with submitted plans.
- 21.Proposals for the interpretation of the retained Field at Hulme Walfield Local Wildlife Site and the provision and maintenance of dog waste bags to be submitted and agreed.
- 22.Submission and implementation of a CEMP including measures to safeguard all potentially affected Local Wildlife Sites identified in the ES.
- 23.Implementation of Great Crested Newt Reasonable Avoidance Measures.
- 24.Updated badger survey and mitigation method statement to be submitted prior to commencement of development.
- 25.Submission of wildlife friendly lighting scheme designed to safeguard bat foraging and commuting habitat and the retained Local Wildlife Site.
- 26.Safeguarding of nesting birds.
- 27.Submission and implementation of a habitat creation method statement, 30 year habitat and monitoring plan to deliver the BNG in the submitted BNG Report including control of non-native invasive species.
- 28.Strategy for the incorporation of features to enhance the biodiversity value of the proposed development.
- 29.Archaeological programme of works
- 30.Scheme of appropriate surface water drainage
- 31.Detailed design of surface water drainage
- 32.The development shall be carried out in accordance with the submitted Flood Risk Assessment
- 33.Finished floor levels
- 34.Details of Emergency Access onto Giantswood Lane to be submitted and approved
- 35.Street lighting scheme for Barn Road
- 36.Detailed design of the footpath/cycleways through the site to be submitted and approved
- 37.Details of the stopping up of the stub farm access from Giantswood Lane to be agreed (Grampian condition as off site)
- 38.Submission of a Public Right of Way Management Plan
- 39.Detailed design of play areas.

In the event of any changes being needed to the wording of the Committee's decision (such as to delete, vary or add conditions/informatives/planning obligations or reasons for approval/refusal) prior to the decision being issued, the Head of Planning has delegated authority to do so in consultation with the Chairman of the Strategic Planning Board, provided that the changes do not exceed the substantive nature of the Committee's decision.



22/1930C

MOUNT PLEASANT FARM,
GIANTSWOOD LANE, HULME
WALFIELD, CHESHIRE

CW12 2JJ



Rev.	Description:	Date:
A	Mount Pleasant Farm boundary included.	12/07/21
B	Mount Pleasant Farm boundary removed	15/09/23



Castle Green,
 Unit 20,
 St. Asaph Business Park,
 St Asaph,
 Denbighshire. LL17 0LJ.
 Tel. 01745 536677

Site: **Claphatch Farm, Congleton**

Title: **Location Plan.**

Scale: **1:2500 at A2** Date: **08.04.21**

Ref: **CONG-LP.01** Rev: **B**



Key:

- Site Boundary
- Affordable Housing - DMV Secured by S106
- Affordable Housing - Shared Ownership Secured by S106
- Affordable Housing - Affordable Rent Secured by S106
- Affordable Housing - Shared Ownership Not secured by S106

Rev.	Description	Date



Castle Green,
Unit 20,
St. Asaph Business Park,
St Asaph,
Denbighshire, LL17 0LJ.
Tel. 01745 536677

Site: Claphatch Farm, Congleton	
Title: Materials Layout - Parcel B	
Scale: 1:500@A0	Date: 25.10.2023
Ref: CONG-ATP.02	Rev: -



Key:

- Site Boundary
- Affordable Housing - DMV Secured by S106
- Affordable Housing - Shared Ownership Secured by S106
- Affordable Housing - Affordable Rent Secured by S106
- Affordable Housing - Shared Ownership Not secured by S106

Rev.	Description:	Date:



Castle Green

Castle Green,
Unit 20,
St. Asaph Business Park,
St Asaph,
Denbighshire, LL17 0LJ.
Tel. 01745 536677

Site: Claphatch Farm, Congleton

Title: Materials Layout - Parcel A

Scale: 1:500@A0	Date: 25.10.2023
Ref: CONG-ATP.01	Rev: -



Key:

- Site Boundary
- Affordable Housing - DMV Secured by S106
- Affordable Housing - Shared Ownership Secured by S106
- Affordable Housing - Affordable Rent Secured by S106
- Affordable Housing - Shared Ownership Not secured by S106

Rev.	Description:	Date:



Castle Green

Castle Green,
Unit 20,
St. Asaph Business Park,
St Asaph,
Denbighshire, LL17 0LJ.
Tel. 01745 536677

Site:
Claphatch Farm, Congleton

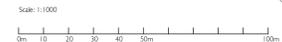
Title:
Materials Layout - Parcels C & D

Scale: 1:500@A0	Date: 25.10.2023
Ref: CONG-ATP.03	Rev: -

KEY

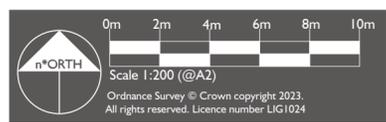
-  Existing trees/ woodland
-  Existing ponds/ watercourses
-  Existing off-site pedestrian/ cycleway Greenway link
-  Proposed tree
-  Proposed orchard tree
-  Proposed hedge
-  Proposed wear tolerant amenity grass (Emorgate Seeds Strong Lawn Grass Mixture EG22)
-  Proposed meadow grass mix to be used where ground is disturbed during construction - existing undisturbed grassland to be maintained as species rich meadow grass (Emorgate Seeds General Purpose Meadow Mixture EM2)
-  Proposed pond edge / ditch / SuDS mix (Emorgate Seeds Pond Edge Grass Mixture EP1)
-  Proposed Local Wildlife Site mitigation area (3,500m2) Existing grass to be removed and seeded with Emorgate Seeds Wetland Meadow Grass Mixture EM8, with additional plug planting of Cirsium palustre, Juncus acutiflorus / inflexus / effusus, and Carex echinata / pendula
-  Proposed planting areas
-  Proposed rain garden areas
-  Proposed native tree/shrub areas
-  Proposed native marginal planting
-  Proposed Deep water pond planting
-  Proposed gravel areas (Cheshire Pink Gravel 20mm)
-  Proposed self binding gravel paths (Breedon Golden Amber or similar approved)
-  Proposed natural stone setts at path entrance points
-  Potential bridge crossing point over ditch to be implemented if required (Millboard Antique Oak composite boards and Millboard Plus-Pro sub-frame)
-  Edale Rustic 3 Seat
-  Land Picnic Bench (root fixed)
-  Double Recycling Bin, black polyester-powder coated finish
-  Proposed feature gate posts at site entrance points (detail TBC)
-  Proposed Estate Rail fencing (1.2m high, 5 bar)
-  Proposed self closing Estate Rail gate (1.2m high, 5 bar)
-  Cycle Stands (at play areas) - Sheffield Cycle Stand, root fixed, black polyester-powder coated finish
-  Proposed trim trail and natural play features
-  Marshalls 600 x 600 Saxon Paving Buff or similar
-  Tegula Cobbles (Traditional) or similar
-  Tegula Setts (Traditional or Natural) or similar
-  Bitmac with gutter detail in Tegula Setts (Harvest) or similar
-  Mono precast Monopave concrete block paving in Brindle and Charcoal
-  Red 80mm Marshalls Tegula Block

NOTE: For further detailed information on the landscape proposals please refer to accompanying drawings 907-05-17, and 907-06, 19 and 20 for details of the play spaces.





Streetscene D - Cheshire Rural (Parcel C/D)



e*SCAPE
urbanists

Project Title
Claphatch Farm, Congleton

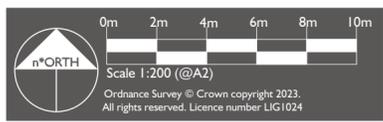
e*SCAPE Job No.
020-021

Client
Castle Green Homes Ltd

Drawing Number Revision
021-021-007 REV A

Drawing Title
Streetscene D (Parcel C/D)

Scale Date
1:200 @ A2 August '23



e*SCAPE
urbanists

Project Title
Claphatch Farm, Congleton

e*SCAPE Job No.
020-021

Client
Castle Green Homes Ltd

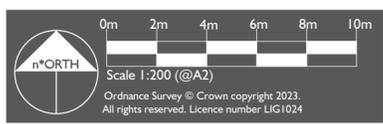
Drawing Number	Revision
021-021-007	REV A

Drawing Title
Streetscene E (Parcel C/D)

Scale	Date
1:200 @ A2	August '23



Streetscene A - Waterside (Parcel A)



e*SCAPE
 urbanists
 Project Title
 Claphatch Farm, Congleton
 e*SCAPE Job No.
 020-021
 Client
 Castle Green Homes Ltd
 Drawing Number Revision
 021-021-007 REV A
 Drawing Title
 Streetscene A (Parcel A)
 Scale Date
 1:200 @ A2 August '23



Cheltenham

Alderton

Marlow

Marlow

Alderton

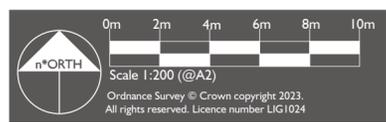
Cheltenham

Stratford

Wentworth

Cheltenham

Streetscene B - Arts & Crafts Style (Parcel A)



e*SCAPE
urbanists

Project Title
Claphatch Farm, Congleton

e*SCAPE Job No.
020-021

Client
Castle Green Homes Ltd

Drawing Number	Revision
021-021-007	REV A

Drawing Title
Streetscene B (Parcel A)

Scale	Date
1:200 @ A2	August '23



Bewley

Canterbury

Broadway

Kingsley

Broadway

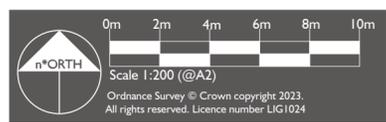
Hartford

Oxford

Henley

NSS 3B4P

Streetscene C - Congleton Town (Parcel B)



e*SCAPE
 urbanists

Project Title
 Claphatch Farm, Congleton

e*SCAPE Job No.
 020-021

Client
 Castle Green Homes Ltd

Drawing Number Revision
 021-021-007 REV A

Drawing Title
 Streetscene C (Parcel B)

Scale Date
 1:200 @ A2 August'23

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Application No: 23/2566N

Location: Land at Peter Destapleigh Way, Stapeley, Nantwich (Phase 2)

Proposal: Reserved matters application pursuant to outline planning permission ref: 12/3747N for the appearance, scale, layout, and landscaping for Phase 2 mixed-use development including employment development (comprising office and warehouse and light industrial buildings) and local centre with parking, service yards and associated infrastructure

Applicant: Muller Property Group

Expiry Date: 01-Feb-2024

SUMMARY

The application site essentially comprises the second phase of the mixed-use development of outline planning approval 12/3747N, which was granted on appeal by the Secretary of State on 15th July 2020 relating to land south of Peter Destapleigh Way. The principle for the mixed-use scheme including employment units, offices and retail units on this site has therefore been established. Full approval 12/3746N has also been granted for site access from Peter Destapleigh Way.

This application considers the approval of reserved matters including layout, scale, appearance, and landscaping relating to details of proposals for the siting of commercial components within the eastern part of the wider of the mixed-use development site known as Maylands Park.

The proposed scheme provides well designed buildings which integrate well with the context of the site and are designed in accordance with the approved quantum and uses permitted through the outline planning permission and the design code supporting reserved matters approval 22/3170N. The development subject to conditions is supported in design terms and the proposals accord with Policies; SE1, SD1 and SD2 of the CELPS, GEN1 of the SADPD, Policy C3 of the SNP and the Cheshire East Design Guide SPD.

The scheme achieves an acceptable relationship with the character of the locality, without material harm to neighbouring residential amenity and the proposed siting and design of commercial units would ensure acceptable levels of amenity for the occupants of the approved residential development within Maylands Park. As a result, the development would comply with Policies HOU 12 of the SADPD and policies C1 and C3 of the SNP.

The impact on the wider highway network arising from the mixed-use development of this site was addressed with during the consideration of the outline application. The internal road network meets relevant highways design standards, and adequate car parking is provided in accordance with parking standards identified in the CELPS. Therefore, the proposed access

arrangements for the development will not adversely affect highway safety or result in traffic management issues on the local highway network and as such complies with CELPS Policies CO2 & CO4, SADPD Policy INF 3, and SNP Policies T1 and T2.

The development includes satisfactory landscaping and planting, and also integrates well with its landscape context, in accordance with CELPS Policy SE4, SADPD Policy ENV5, SNP Policies GS1 and GS3, and the principles of design code.

It is considered that the ecological impacts will be mitigated and as a result the proposal complies with Policy SE 3 of the CELPS. The impact on trees and hedgerow is acceptable and would be mitigated by the proposed landscaping of the site, and a condition attached to protect retained trees.

The Council's Flood Risk Officer considers that subject to technical details being addressed the proposed surface water drainage system will satisfactorily serve the development.

Air quality and contaminated land matters were addressed at the outline stage, and subject to planning conditions of the outline approval which are required to be formally discharged.

The proposals are therefore considered to be acceptable in the context of the relevant policies of the Cheshire East Local Plan Strategy, the SADPD, the Stapeley & Batherton Neighbourhood Plan and the advice of the NPPF.

Recommendation: APPROVE subject to Conditions

DESCRIPTION OF SITE AND CONTEXT

The application site comprises the second phase of the mixed-use development of outline planning approval 12/3747N which was granted on appeal by the Secretary of State on 15th July 2020 relating to land to the south of Peter Destapleigh Way.

The application site is of an irregular shape (1.84 Ha) given approvals already granted for elements of the mixed-use scheme not forming part of this reserved matters application, and also adjoining land identified to accommodate a primary school.

To the west of this site is first phase of the mixed-use scheme for which reserved matters approval (22/3170N) was granted for a residential development of 188 dwellings, associated infrastructure and open space and ecological areas pursuant to outline planning approval 12/3747N.

Directly to the east of the mixed-use site lies the Stapeley Gardens development. Under reserved matters approval 22/3170N a Great Crested Newt (GCN) mitigation area is included within the mixed-use scheme to run alongside the eastern site boundary. This adjoins the Stapeley Water Gardens GCN compensation area.

Peter Destapleigh Way and the Cronkinson Farm residential development lie to the north of the site. An access road serving the mixed-use scheme will be provided from the existing traffic light junction off Peter Destapleigh Way, and which is subject to full planning approval 12/3746N.

The site is generally flat, former agricultural land bounded by native hedgerows to the south and east including some tree cover subject to a Tree Preservation Order. The southern boundary adjoins existing farmland.

DETAILS OF PROPOSAL

Outline planning approval (12/3747N) was granted on appeal by the Secretary of State in July 2020 for the following;

Proposed residential development for up to a maximum of 189 dwellings; local centre (Class A1 to A5 inclusive and D1) with a maximum floor area of 1,800 sq. Gross Internal Area (GIA); employment development (B1b, B1c, B2 and B8) with a maximum floor area of 3,700 sq. m GIA; primary school site; public open space including new village green, children's play area and allotments, green infrastructure including ecological area.

Reserved Matters approval (22/3170N) was subsequently granted in May 2023 for the residential component of the mixed use scheme now known as Maylands Park. This comprised 188 dwellings, associated infrastructure and open space including a NEAP and ecological areas.

This application seeks approval for Reserved Matters in relation to the appearance, landscaping, layout and scale, is essentially for Phase 2 of the mixed-use development pursuant to outline planning approval 12/3747N and comprises a Local Centre and Employment Development.

In accordance with the outline approval the proposed development includes:

- A local centre (1598 sq.m), comprising 6no. retail units
- An office building; (1755 sq.m)
- Warehouse and light industrial building (1927 sq.m) comprising 3no.units
- Car and HGV access, landscaping and associated infrastructure.

Access to the development will be via the access road leading southward from the traffic light junction on Peter Destapleigh Way which was also granted full planning approval (12/3746N) on appeal by the Secretary of State on 15th July 2020.

Planning permission (21/1703N) was also subsequently granted for a section of internal spine road leading on from the southern end of the access road to serve the mixed-use scheme, including the employment development and local centre which are the subject of this application. The proposal will also ensure that access is provided through to the future primary school site located beyond the local centre, but which is not part of this application.

The proposals have been devised using the indicative guidelines set out as part of the outline planning approval and the subsequent Design Code and Illustrative Masterplan approved as part of the first reserved matters planning application for residential development at the site (Ref: 22/3170N).

RELEVANT HISTORY

22/3170N - Reserved matters application pursuant to outline planning permission 12/3747N for the appearance, scale, layout and landscaping for Phase 1 residential development (Use Class C3) including internal access roads, public open space including NEAP, village green, community orchard and ecological areas, parking and associated infrastructure. Approved 26th May 2023

21/1703N - Full planning application for an internal spine road to serve land South of Peter Destapleigh Way. Approved 24th December 2021

12/3747N - Proposed residential development for up to a maximum of 189 dwellings; local centre (Class A1 to A5 inclusive and D1) with a maximum floor area of 1,800 sq.m Gross Internal Area (GIA); employment development (B1b, B1c, B2 and B8) with a maximum floor area of 3,700 sq. m GIA; primary school site; public open space including new village green, children's play area and allotments, green infrastructure including ecological area; access via adjoining site B (see below) and new pedestrian access and associated works Allowed on Appeal 15th July 2020 (Ref APP/R0660/A/13/2197532)

12/3746N - New highway access road, including footways and cycleway and associated works. Allowed on appeal 15th July 2020 (Ref APP/R0660/A/13/2197529)

POLICIES

Cheshire East Local Plan Strategy (CELPS)

PG 1 - Overall Development Strategy
PG 2 - Settlement Hierarchy
PG 6 - Open countryside
PG 7 - Spatial Distribution of Development
SD 1 - Sustainable Development in Cheshire East
SD 2 - Sustainable Development Principles
SE 1 - Design
SE 2 - Efficient Use of Land
SE 3 - Biodiversity and Geodiversity
SE 4 - The Landscape
SE 5 - Trees, Hedgerows and Woodland
SE 6 - Green Infrastructure
SE 8 - Renewable and Low Carbon Energy
SE 9 - Energy Efficient Development
SE 12 - Pollution, Land contamination and Land instability
SE 13 - Flood Risk and Water Management
CO 1 - Sustainable Travel and Transport
CO 2 - Enabling Business Growth Through Transport Infrastructure
CO 4 - Travel Plans and Transport Assessments
EG 1 - Economic Prosperity
IN 1 - Infrastructure
IN 2 - Developer Contributions
SC 1 - Leisure and Recreation

Site Allocations and Development Policies Document (SADPD)

PG9 - Settlement Boundaries
GEN1 - Design principles
ENV1 - Ecological network
ENV2 - Ecological implementation
ENV3 - Landscape character
ENV5 - Landscaping
ENV6 - Trees, hedgerows, and woodland implementation
ENV7 - Climate Change
ENV12 - Air quality
ENV15 - New development and existing uses
ENV16 - Surface water management and flood risk
HOU12 - Amenity
INF1 - Cycleways, bridleways and footpaths
INF3 - Highways safety and access
INF9 - Utilities
REC3 - Green space implementation
REC5 - Community facilities

Stapeley & Batherton Neighbourhood Plan (SNP)

The SNP was made on the 19 March 2018.

Policy GS 1 - Landscape and the Countryside.
Policy GS 2 - Open Space
Policy GS 3 - Woodland, Trees, Hedgerows, Walls, Boundary Treatment and Paving
Policy GS 5 - Environmental Sustainability of buildings and adapting to climate change
Policy GS 6 - Biodiversity
Policy T 1 - General Transport Considerations.
Policy T 2 - Pedestrian and cycle routes.
Policy T 3 - Footpaths, Cycleways and Bridleways.
Policy T 4 - Bus Services
Policy T 5 - Improving Air Quality
Policy T 6 - Identification of underground utility assets
Policy C 1 - Existing and New Facilities
Policy C 2 - New Business
Policy C 3 - Scale, Design and Amenity
Policy AWB 1 - Accessible GP practices
Policy AWB 3 - Provide for the sports needs of residents
Policy AWB 4 - Community Facilities.
Policy AWB 5 - Communications Infrastructure

Other Material Considerations

National Planning Policy Framework (NPPF)
National Planning Policy Guidance (NPPG)
Cheshire East Design Guide - SPD

CONSULTATIONS

Environmental Protection: No objection subject to conditions requiring the provision of noise mitigation in accordance with NIA, hours of operation (retail units), details of odour abatement scheme, details of external lighting and remediation of unexpected contamination and suitability of imported soils. Standard informatives relating to hours of construction, Piling, floor floating and dust management.

(Other than the recommended conditions to address unexpected contamination and use of imported soils, issues relating to contamination, air quality and details of external lighting are addressed under conditions of outline approval 12/3747N)

CEC Highways: No objection.

United Utilities: No objection. Further to the review of the submitted Foul & Surface Water Drainage Design Drawing 6591 01-13 (Dated June 2023) the proposals are considered acceptable.

Flood Risk Manager: No objection. Subject to a condition requiring the submission and approval of a detailed surface water drainage scheme based on the principles of the approved Flood Risk Assessment (FRA) and Drainage Strategy.

Stapeley Parish Council: Objects to the application on the grounds summarised below;

- Supporting Planning Statement does not refer to policies GS5, T4, T5, C1, C2, C3, AWB4, AWB5 of the Stapeley Neighbourhood Plan that are key to new development, and also fails to demonstrate how Neighbourhood Plan policies have been adequately addressed by the proposals. The reserved matters application is therefore inadequate for determination.
- Proposed access arrangements focus solely on vehicular access and other sustainable, transportation options are not considered.
- No consideration of measures to facilitate cycle, pedestrian and public transport movements, or increase them, as sustainable transport options. Policies not assessed against relevant Neighbourhood Plan Policies T2 and T3.
- The height, elevations, and scale of the office building and light industrial units completely out of keeping with the local area (no buildings in the area are of such a height and width). Their height and elevations would dominate surrounding retail and housing.
- Proposed provision of electric vehicle charging points for just 5% of parking spaces is inadequate. Minimum provision required for 66.67% parking spaces (100 spaces) with electric vehicle charging points.
- No traffic plan submitted.
- Transport plan only considers Pear Tree/Peter Destapleigh Way (A530) junction, not the two nearby, busier, junctions of London Road (A51)/Elwood Way (A51)/A530 and B5074 (Newcastle Road) / A51 / Elwood Way (A51), both of which will be used by commercial traffic accessing the site. The report does not consider how traffic types and volume will change as a result of the proposed development.
- Proposed parking insufficient for the retail, commercial and office development, let alone if the proposed Primary School were to be built. As a minimum, parking restrictions must be imposed on Peter Destapleigh Way and the roads feeding into the proposed development.

- The developer should be required to fund appropriate public transportation improvements (e.g. additional buses/bus routes).
- Provision of lay-by on the approach road to the school which will be used by articulated lorries. There is no provision for appropriate turning space and will result in either turning over a crossing or reversing out onto the feeder road.
- Lack of future control of noise levels from commercial and industrial units.
- Hours of operation 07.00-23.00 for retail and unlimited for industrial units seem unreasonable.
- Measure required to control the hours of movements for lorries and deliveries
- Measures required to mitigate the Impact of the noise and other pollution (e.g. light, air) on nearby existing residential properties.
- The supporting “Sustainability Statement and Energy Strategy – Maylands Park” ignores relevant policies contained in the Stapeley and Batherton Neighbourhood Plan including policies GS5, T5, T2, T3 and T4. Therefore, the evaluation of sustainable design and adaptation to climate change is inadequate.
- The Sustainability Statement contains factual errors and does not propose any sustainable transport provision for the site, including proposals for adequate public transport, cycle or footway links and contrary to SNP Policies T2 and T3.
- Inadequate details of plans to divert existing field drains given need to prevent flooding in the area of the proposed development.
- No details provided of impact on badger sett recorded within the site.
- A 5 year landscape management plan is inadequate for the development. An absolute minimum of 25 years land management commitment by the developer is vital.

REPRESENTATIONS

14 Representation have been received objecting to the application the concerns raised are summarised below;

- Loss of open countryside.
- The size and appearance of the development out of keeping with the character of residential and rural area.
- Development should be sited at existing warehouse / business locations such as those off the A500 where road infrastructure is better suited for access.
- Siting of warehouse/light distribution centre is inappropriate and set a precedent for industrial style development.
- More suitable, brownfield sites should accommodate this type of development.
- Considerable variations from the proposals submitted in 2017 including the removal of the primary school and the relocation and redesign of the employment area.
- A new primary school should be a mandatory part of the application and not be optional.
- The original plans stated there would be development of 2 storey buildings and these have been updated to 3 storey. This will increase capacity of these buildings, result in increased traffic and be detrimental to appearance of locality.
- Adverse visual impact and unattractive outlook of 8m high distribution warehouse, 6m high light industrial units and 3-storey office block when viewed from properties of Stapeley Gardens Estate.
- No justification for the extra storey of office space.
- Questionable logic behind the addition of retail units beyond a convenience store which and may remain/become vacant in the future.
- Proposals will result in Noise, light and air pollution.

- Development will exacerbate existing problems of traffic congestion on Peter Destapleigh Way, London Road and Newcastle Road Increase in traffic congestion at key/peak times.
- Detrimental to highway safety.
- Increased damage to road surfaces by large vehicles harmful to safety of other road users.
- Increased volume of traffic and HGVS close to local schools not compatible with safe routes to schools
- Inadequate highways infrastructure to support the increase volume and nature of traffic along Peter Destapleigh Way and feeder roads resulting in queuing to enter and exit the site, causing traffic congestion, increased noise, light and air pollution.
- Peter Destapleigh Way does not cope with existing the levels of traffic. In the morning and evening there can be very large queues of vehicles at the traffic lights at London Road and Newcastle Road junctions
- An up to date traffic survey should be conducted during school term times to better reflect the impact of increased traffic and its speed.
- Focus required on sustainability of all elements of the build and long term use of the site including more electric vehicle charging points, increased pedestrian and cycle access, and provision of public transport.
- Reduction of speed limit to 30mph along all of Peter Destapleigh Way
- Inadequate space for delivery vehicles to manoeuvre within the site. Restrictions required for parking and waiting on the access road, spine road and feeder roads.
- 24 hour use of commercial and industrial buildings. Tighter restrictions required for both times of use and deliveries.
- Prohibit waiting and parking along the access road and relevant parts of the spine road, to avoid the additional nuisance of HGVs loitering prior to premises opening or parking overnight.
- Noise from numerous HGV's using the access road on a daily basis and at night.
- Noise assessment inadequate and impact on Stapeley Gardens estate not addressed.
- Noise mitigation should be offered to all houses affected by the access road including installation of triple glazing and wall insulation.
- Suitable physical barriers required to mitigate noise light and air pollution to residential properties from access road and to prevent unauthorised pedestrian access into the Stapeley Gardens estate. A barrier hedge would have environmental benefits through reducing air pollution and supporting wildlife.
- Overlooking of properties from access road.
- Noise, vibration and disturbance resulting from construction of access road
- Adverse impact of construction work within mixed-use site.
- Office car park surrounded by oppressive and unnecessary 1.8m high wall and hidden car park will become a target for anti-social activity.
- lack of green space for outdoor recreational activity.
- Local infrastructure including health services, emergency services and schools already overly stretched, and roads need major upgrades if the town continues to expand.
- Inadequate local postal service, refuse collection and provision of bus stops.
- Adverse impact on wildlife from light pollution.
- Reduction in biodiversity.
- increased risk of flooding.
- Entrance wall feature proposed at junction of access road with Peter Destapleigh Way which was refused planning consent (22/0312N) is shown on drawings.
- Condition surveys for properties of Stapeley Gardens estate close to access/spine road not conducted in a timely fashion, or not completed by developer.

- Resident not informed when purchasing property at Stapeley Gardens estate that it would be close to an industrial units.

A Letter of objection has been received from Cllr John Priest also on behalf of Cllr Geoff Smith, as set out below;

"I am writing on behalf of Geoff Smith and I as Cheshire East Councillors for Nantwich South and Stapeley Ward. We are concerned about the plans for development on these referred matters due, primarily, to the proposals for the inclusion of warehousing and light industrial elements in the application. One of the key issues in the Ward, raised countless time by constituents, is the volume of traffic and the effect this is having in terms of pollution, noise and accelerated deterioration in the state of the roads. This development as it stands can only mean a significant increase in Heavy Goods Vehicle use of existing roads and the exacerbated consequences that will ensue on these issues. The building of warehousing and distribution facilities is also not in keeping with the character of the local area, which is currently primarily residential, and there is no precedent for a development of this nature. We object to the proposals on these aspects and would request that these concerns be taken into account on behalf of residents and invite the developer and the planning officers to seek alternative solutions to land usage in this section of the application."

OFFICER APPRAISAL

Key Issues

- Principle of development
- Design/Layout
- Landscape
- Amenity
- Highways
- Ecology
- Trees
- Air Quality
- Flood Risk/Drainage
- Energy Efficient Development

Principle of Development

The principle of the development for a mixed-use scheme on the site together with the associated access from Peter Destapleigh Way via a new road from the traffic light junction has been established under full planning approval 12/3746N (access road) and outline consent 12/3747N (mixed use scheme) which were granted on appeal by the Secretary of State in July 2020.

This application is for the approval of reserved matters relating to details of proposals for the siting of commercial components within the eastern part of the wider of the mixed-use development site. These consist of retail (local centre), offices, light industrial and warehouse units with associated car parking, landscaping and associated infrastructure pursuant to outline approval 12/3747N.

The description of development of outline planning approval 12/3747N permits the provision of a Local Centre (Class A1 to A5 inclusive and D1 uses) of up to 1,800 sq m in floorspace and employment development (B1, B1c, B2 and B8 uses) of up to 3,700 sqm. No specific height parameters for buildings were specified as part of the outline planning permission.

The proposed development therefore falls within the overall quantum of development and mixed uses permitted under outline planning permission 12/3747N.

As a result, details of the Layout, Scale, Appearance and Landscaping are the principal considerations for the proposed development, and the details of all relevant technical matters are discussed within the report.

An indicative masterplan accompanies the outline approval and sets out the main components of the mixed-use development. However, this cannot be considered as the definitive layout or design of the development. In particular Condition 3 of outline planning approval (12/3747N) requires this reserved matters application to only “refer” to the submitted and indicative drawings.

As a result, it is therefore inevitable that these detailed proposals include changes to the indicative drawings of the outline approval and these changes are addressed below. Importantly highway access to the site via the traffic light-controlled junction on Peter Destapleigh Way was granted full planning approval (12/3746N) on appeal by the Secretary of State in July 2020. A further planning approval (21/1703N) was granted for an internal spine road leading from the southern end of the access road approved on appeal to serve the mixed-use development site, including the commercial parcels which are the subject of this reserved matters application.

Condition 21 of the outline approval (12/3747N) requires;

The first reserved matters applications shall include a Design Code for the site and all reserved matters application shall comply with provisions of the Masterplan submitted with the application and the approved Design Code.

In accordance with Condition 21, the application for the reserved matters application for the residential element of the mixed-use scheme (22/3170N) was supported by a Spatial Design Code (including a Masterplan), this design code included detailed information for the residential parcel (Phase 1) and high-level indicative information for the mixed-use parcels.

Reserved matters planning application 22/3170N was also supported by an overall Phasing Plan for the mixed-use development. The agreed Phasing Plan provided a flexible framework to ensure the delivery of the principal components of the mixed-use scheme for future phases and set out the phases as follows:

Phase 1 - Spine Road

Phase 2 - Residential development including public open space scheme.

Phase 3 - Flexible Use – commercial and/or site for primary school site

Phase 4 - Mixed Use - employment/ other outline approved end uses

Phase 5 - Mixed Use - employment/ employment/other outline approved end uses

This reserved matters application relates to the parts of the site subject to Phases 3, 4 and 5. The uses proposed fall within the flexible uses for these phases indicated on the Phasing Plan.

The outline planning permission allows for the future provision of a primary school site within the mixed-use development. Although approval of the primary school is not sought as part of this reserved matters application a site (1.2 ha) it is shown on the submitted site layout to the west of the proposed local centre. The supporting Design and Access Statement also includes an indicative layout for the primary school including access, parking, drop off and turning area.

It should also be noted that the overall mixed-use development approved on appeal is bound by the terms of the S106 agreement, to secure the following:

- Affordable housing provision (30%)
- Education contribution: Secondary £441,253 and SEN £91,000
- Highway contributions: including financial contribution towards a bus service, provision of new bus stops and for a pedestrian crossing on Peter Destapleigh Way (position to be agreed)
- Provision of NEAP, Open Space provision and management
- Provision and future management of Local Nature Conservation Area (LNCA)

In summary, it is considered that the inclusion within the mixed-use development of a local centre (retail use) and the proposed employment uses are acceptable in principle, and detailed design and technical issues relating to this reserved matters application are addressed below.

Layout / Design

The importance of securing high quality design is specified within the NPPF and Policies SE1, SD1 and SD2 of the CELPS, GEN1 of the SADPD and the Cheshire East Design Guide. In particular, development proposals should consider the wider character of a place in addition to that of the site and its immediate context, to ensure that it reinforces the area in which it is located.

These principles are also reflected in the CEC Design Guide, and also echoed by SNP Policy C3 which requires that new employment development must demonstrate good quality design through responding to and integrating with its local surroundings, landscape context and the built environment.

This application follows an earlier Reserved Matters application 22/3170N approved for the residential element of the site in May 2023. As a part of the earlier application a spatial design code was developed, and this has provided guidance to the proposals considered here.

The Council's Design Officer has undertaken an assessment of the application for each component of the scheme, and these comments are referred in the commentary below.

Residential Gateway (Local Centre)

A neighbourhood shopping centre consisting of 6.no retail units, including a convenience store, is located along the western edge of the approved spine road.

These two-storey buildings will provide an active frontage, with parking areas to front and rear incorporating dedicated pedestrian link between the two to provide connectivity and permeability.

The Design Officer considers that the design and layout of the local centre buildings achieve an appropriate transition between this commercial element and adjacent residential development. The rhythm of the distinctive, front-gabled design of retail units satisfactorily turns the corner to open up the residential area. A limited and consistent palette of materials together with a gradation in its scale and height further ensures an acceptable visual relationship is achieved between the local centre and the approved residential element.

In particular, the relationship between the house on Plot 188 and the adjacent retail unit, and more specifically the potential impact of noise associated with the service yard/car park to the rear has been addressed. An acoustic barrier fence and trees planting is provided between the rear garden of Plot 188 (and also Plot 175) and the service yard/car park to the north.

An accessway off the spine road will serve the rear car park of the local centre but also provide access to the primary school site (not subject to approval under this reserved matters application). The school site and its proposed access is addressed below.

Office Building

The Design Officer considers that the freestanding 3-storey, office building is of siting and design which will act as an appropriate 'gateway' building to the development at the entrance to the mixed-use scheme. It is sited on eastern side of the spine road leading from Peter Destapleigh Way and positioned in accordance with key focal viewpoints identified by the design code.

Parking areas to the south of the building, are screened from the spine road through a combination of soft landscaping and a brick boundary wall. Amended plans have however been received which reduces its height to 1.5m and whilst still providing necessary enclosure, it will not be an unduly dominant feature in the street scene.

The architectural design and proposed materiality of this contemporary building is of a robust yet simply articulated form. This use of masonry walls punctuated by tall, narrow window openings combined with the use of large areas of glazed curtain walling is considered to be successful in design terms.

Overall, the Design Officer considers office block to be a well-designed building which will successfully act as an appropriate gateway feature to the mixed use scheme.

Light Industrial and Warehouse Units

The proposed light industrial units (Units E & F) and warehouse unit (Unit (D) have been located to the southern part of the site in a more position further from the residential element of the mixed use scheme. The indicative masterplan and phasing plan originally sited Employment Units in a central position within the scheme immediately adjacent to dwellings and POS.

The ridge heights of the industrial and warehouse units are between 9.11m and 11m, with eaves heights between 7.18m and 9.07m. However, the heights of these units, reflect those typically required for the operation of these uses, including storage. As a result the

warehouse unit is required to be of 8m height to the haunches of its steel frame, while 6m is required for the operation of the light industrial units.

The elevations of these units facing the spine road have been designed to visually break down their massing. This includes staggered frontages, ensuring they are of an appearance which achieves an appropriate visual relationship with the domestic scale buildings on the opposite side of the spine road.

A significant distance is maintained with properties to be sited opposite, given the provision of green verges, tree planting and landscape buffer treatment on each site of the spine road. Furthermore, frontage parking further off-sets the industrial units from the spine road which will incorporate soft landscaping with parking separated into a number of discrete areas, with landscape breaks between them. Servicing and loading bays are sited and contained to the rear of the industrial and warehouse units.

The Council's Design Officer has advised that the location of this element is considered to be the most appropriate on the site. However, whilst this siting and elevational design detailing reduces their visual impact of these units, these are recognised to be relatively large, buildings within the scheme, and the combination of hedgerows and the boulevard trees are key to softening their appearance commercial units.

The visual impact of these light industrial units from distant views, including from Broad Lane to the south and existing residential properties of the Stapeley Gardens estate to the east, has been addressed by an updated LVIA. This landscape assessment concludes that the site remains relatively well screened either by adjoining urban areas, (including the Stapeley Water Gardens site); the other built development to the north east and south by vegetation that lines footpaths, field boundaries and road routes.

Future Primary School Site

Whilst not part of this Reserved Matters application the site layout plan indicates the future provision of a primary school site to the west of the local centre. The proposed location has changed from that shown on the indicative masterplan and also the spatial design code supporting the previous reserved matters application. However, the Design Officer considers the alternative site to be more suitable as the school is located closer to the housing, on the same side of the access road, and provides potential additional surveillance of the POS and play space (NEAP) to the west of the site.

It is recognised that the vehicular access from the Spine Road to the school site is via a shared access road also serving rear parking and service areas of retail units of the Local Centre, and this may have the potential to cause issues at school drop-off and collection times. However as set out in the in the highways section of this report, the Council's Highway Engineer advises that the design of this access in terms of width is acceptable with footways on both sides of the road. It is considered that the site allocated for the school (1.2 ha) is large enough to provide for drop-off facilities and parking within it, and such facilities would need to be provided should the school site come forward. In addition, although a service lay-by for the local centre is also proposed along this access road, a TRO would be applied to ensure it is used for loading purposes only.

Streets

The specification of hard surfacing materials should be in line with the materials set out in the design code accompanying planning approval 22/3170N, and the Cheshire East Borough Design Guide, 'Market Towns and Estate Villages' character area hard surfacing materials palette. The Design Officer considers that the continuity of surfacing materials through the entirety of the development, including residential and commercial elements will have the effect of unifying of the varied uses across the site, A condition is therefore recommended requiring the submission and approval of hard-surfacing materials.

Architecture and Materials

The Design Officer considers that the influence of the design coding approach is clear, with the continuation of the materials palette and proposed detailing is welcomed, as in design terms it ties in together the residential and commercial phases of this mixed- use development. A condition is however recommended requiring details of facing materials to be submitted for approval.

Overall

In summary, the Design Officer considers that the overall masterplan/coding approach has ensure that the commercial elements of the mixed use scheme will achieve a reasonably harmonious relationship with the residential development already approved within the site. It is recognised that the consistent use of materials throughout the scheme, and the transition from retail/commercial to residential is handled sensitively and well.

Overall, it is considered that the scheme provides well designed buildings which integrate well with the context of the site, and accord with the approved quantum and uses permitted through the outline planning permission and the principles of the design code supporting reserved matters approval 22/3170N .

It is considered that in design terms the proposals comply with Policies; SE1, SD1 and SD2 of the CELPS, GEN1 of the SADPD, Policy C3 of the SNP and the Cheshire East Design Guide SPD.

Landscape

The layout for this commercial phase is set within a strong landscape framework for the wider mixed-use site. The landscape proposals have been devised to complement the landscaping scheme already approved for the spine road which includes a tree lined avenue, green verges and landscaped buffers. It will provide additional green infrastructure between the road and the proposed local centre, industrial units and office building.

In particular, areas of parking will be either broken up or screened with landscape breaks including native hedge, shrub and tree planting along with ornamental shrubs and wildflower planting to minimise the visual impact of frontage car parking.

The Council's Landscape Officer advised the overall, the proposed planting and landscape plans for the scheme are of good quality in most places. However, some relatively minor amendments were necessary to address issues including;

- replacement of some awkward/small areas of amenity grass next to parking areas with ornamental shrub planting
- additional native trees to soften the site boundary and feature trees in selected locations
- an adjustment to the landscape scheme to ensure the provision of a footpath along the frontage of retail unit 1 to provide pedestrian access directly to the local centre from the spine road to the north .

Amended landscape layout and planting details have been submitted, and the Landscape Officer has advised that the changes satisfactorily address these issues.

The submitted Landscape Management Plan is considered broadly acceptable but with regards to failing/dead trees, a condition is recommended to ensure that the life of the management contract is for at least 30 years.

The siting of the proposed commercial components within the mixed-use scheme vary considerably from the indicative masterplan considered at the outline stage. This includes the siting of employment uses (warehouse and industrial units) adjacent to the southern boundary of the mixed-use site with open countryside and adjacent to the eastern boundary with the Great Crested Newt compensation area of the Stapeley Water Gardens redevelopment.

As a result the Landscape Officer requested that an updated Landscape Visual Impact Assessment (LVIA) be provided to assess whether proposed boundary/screening landscape will be effective in softening the impact of the layout now proposed.

An updated LVIA has been submitted. This considers the original Tyler Grange assessment supporting the outline application and the additional viewpoints now provided to reflect the layout /design of the development now proposed by this application. The updated LVIA concludes that there “remains a low level of landscape impact within an area already identified for development (spine road and Phase 1 residential development already consented).”

The LVIA considers that “the site remains relatively well screened either by adjoining urban areas, (including the newly developed Stapeley Watergardens site); the other built development to the north, east and south; or by vegetation that lines footpaths, field boundaries and road routes”. It consequently concludes that the visual effects of the development will not change materially from those identified when the outline application on (12/3747N) was considered.

The Landscape Officer considers the updated LVIA to be satisfactory and concurs with findings and conclusions concerning the proposed development of the site.

It is considered that the development includes satisfactory landscaping and planting, and also integrates well with its landscape context, in accordance with CELPS Policy SE4, SADPD Policy ENV5, SNP Policies GS1 and GS3, and the principles of design code.

Amenity

SADPD Policy HOU 12 (Amenity) that new development should not be permitted if it is deemed to cause unacceptable harm upon neighbouring amenity such as from visual intrusion or noise and disturbance. SNP Policy C3 (Scale, Design and Amenity) requires that all new employment development responding to and integrating with local surroundings and should not therefore have an adverse amenity of adjoining properties. SNP Policy C1 also requires that proposal

for new community facilities will be supported provided they would not have significant harmful impacts on the amenities of residents or on other neighbouring uses.

Existing Properties - Stapeley Gardens Estate

The nearest residential property to the site is a freestanding, 3-storey apartment block within the Stapeley Gardens estate located on the southern side off Thalia Drive and 43m from the northernmost application site boundary. This apartment block is consequently located 50m from the northern elevation of the proposed office building, although it is set at oblique angle towards this elevation.

Properties of the Stapeley Gardens estate (Thalia Drive and Snowcrest Place) also face towards the mixed-use site across a substantial parcel of undeveloped land which is retained for ecological mitigation in association with the redevelopment of Stapeley Water Gardens site. As a result, significant distances of between 80 -100m remain between these properties and the northern and eastern boundaries of the mixed-use site.

Furthermore, an ecological mitigation area will also be provided within the mixed use site, running alongside its entire eastern boundary and adjoining the substantial GCN compensation area of the Stapeley Gardens estate. As a result, the office building is set 19m into the mixed-use site, and at its nearest point the warehouse unit (Unit D) is sited 38m from the eastern boundary.

It is also important to note that the eastern boundary of the mixed-use site is defined by existing hedgerows and protected, field boundary trees, which will filter views of the site from nearby properties and help soften the appearance of the development.

It is therefore considered that given the relationship between the development and existing properties of the Stapeley Gardens estate, the siting or operation of the development will not result in unacceptable harm upon neighbouring amenity such as from visual intrusion noise and disturbance, or result in any over-dominating or overbearing impact.

The concerns raised by local residents of the Stapeley Gardens are understood as regards the use of the access road which passes their properties to serve the mixed- use site from Peter Destaplegh Way. However, the impact of the approved access road (12/3746N) serving the mixed-use scheme on the amenities of nearby properties or the wider locality in terms of noise, light pollution or air quality arising from traffic movements, were not issues considered by the Secretary of State as reasons to withhold planning permission.

Furthermore, the approved access road lies outside of the site of this reserved matters application, and consequently only detailed matters relating to this defined part of the mixed-use scheme can be addressed. Therefore this application cannot require the provision of further measures, such as the provision of a physical barrier between the access road and adjacent properties of the Stapeley Gardens estate for noise attenuation , additional security or to reduce light pollution.

Approved dwellings - Maylands Park

As referred to by the design/layout section above, the siting of the industrial and warehouse units within the southern part of the site which maximises their distance from dwellings of the approved residential element of the mixed-use scheme.

In support of this application, the applicant has submitted a noise impact assessment (NIA) which relates to the proposed site layout as commercial and retail properties are located in close proximity to approved residential properties of Maylands Park.

The Council's Environmental Officer has advised that the impact of the noise from road traffic and the commercial units of the proposed development has been assessed in accordance with:

- BS8233:2014 Guidance on Sound Insulation and Noise Reduction for Buildings
- BS4142:2014 Methods for rating and assessing industrial and commercial sound

An agreed methodology for the assessment of the noise source.

The report recommends noise mitigation measures (at section 5) designed to achieve BS8233: 2014 and WHO guidelines to ensure that future occupants of the properties / occupants of nearby properties are not adversely affected by noise from the commercial units / noise from the development/ transportation noise sources. These include;

- 3m high, acoustic fencing to the southern and western edges of the service yard of the Local Centre (adjacent plots 118 and 175)
- sound insulation requirements for building envelopes of light industrial units to be determined by a specific operator/at detailed design stage.
- detailed specification of equipment and plant to be installed for retail units shall be provided for approval to ensure there is no disturbance from noise.

The Environmental Health Officer (EHO) has advised the report's methodology, conclusion and recommendations are accepted. In addition the EHO has considers that the mitigation measures recommended by the NIA are acceptable in safeguarding the amenities of future residents of Maylands Park from noise, and planning conditions to secure the following are recommended to ensure;

- The mitigation recommended in the acoustic report 14432A-20-R01-03-F dated June 2023 shall be implemented in full prior to the occupation of each unit / dwelling / phase
- Operations / Opening Hours/Deliveries to be restricted to within the following hours for all retail units:

Monday – Friday	0700 hrs	2300 hrs
Saturday	0700 hrs	2300 hrs
Sunday	0700 hrs	2300 hrs

To further safeguard residential amenity, the EHO recommends that further conditions are necessary requiring details of an odour abatement scheme for any units providing cooked food and the approval of details of external lighting. Condition 19 of the outline approval (12/3747N) already requires the approval of the lighting scheme for each phase of the mixed-use scheme prior to the commencement of development.

It is therefore considered that the proposed commercial mixed-uses can satisfactorily assimilate with the approved residential development (22/3170N) at Maylands park site and safeguard the amenities of future residents in terms of visual intrusion, noise and disturbance.

Highways & Accessibility

Background

It was established under full planning approval 12/3746N (access road) that the access to the mixed-use development will be via the traffic light-controlled junction of Peter Destapleigh Way and Pear Tree Field. The detailed junction arrangements for the access road with Peter Destapleigh Way were approved under full planning approval 12/3746N. In addition, Condition 12 of the outline approval requires that no development is to commence until MOVA traffic signal control systems have been installed at the site access junction from Peter Destapleigh Way and at the Audlem Road/Peter Destapleigh Way traffic signal junction.

The S106 agreement accompanying 12/3747N requires the payment of a financial contributions towards the provision of a new pedestrian crossing facility on Peter Destapleigh Way, provision/upgrading of bus stops in the vicinity and towards the funding of a bus service to the site.

In addition, there is a separate approval (21/1703N) for the main internal spine road serving the mixed-use site which connects with the southern end of the approved access road leading to the junction with Peter Destapleigh Way (12/3746N). This route incorporates a cycle way/ footway which provides reasonably direct access from the mixed-use site to the primary school located off Pear Tree Field via pedestrian crossing facilities at the traffic light-controlled crossroads junction which will be improved in accordance with planning approval 12/3746N.

However, this reserved matters application only considers the internal design and road layout of the application site, as access via the access/spine road has already been approved.

Highway Assessment

This is a reserved matters application for the local centre and employment elements of the mixed-use site only. Details regarding access to the site from Peter Destapleigh Way and off-site traffic impact was addressed by the outline application 12/3747N and full approval 12/3746N as set out above.

Two accesses from the spine road serve the parking areas of retail units within the proposed local centre. The office building and industrial/warehouse units are served from a single access from the spine road.

All the junctions off the spine road are priority junctions, the retail access width is 5.5m and the commercial width is 6.75m which is an acceptable standard. Swept paths have been submitted for both refuse and commercial vehicles entering the access road and being able to turn within the site.

The proposed parking provision is 58 spaces (Office), 52 spaces (light industrial/warehouse units) and 84 spaces (Retail). Accessible parking spaces have been provided for each of the separate units together with cycle parking provision. The Council's Highway Officer advises that the level of parking provided is acceptable, being consistent with the requirements of the CELPS.

Whilst not part of this application, allocation has been made for a school site to the rear of the retail site which would be likely served by the same access. The design of the access in terms of width is acceptable and there are footways on both sides of the road. There is a service lay-by proposed and this would need a TRO applied to ensure it used for loading purposes only. The allocated site for the school is large enough to provide for drop off facilities and parking within it and these facilities would need to be provided should the school site come forward.

In summary, the Council's Highway Officer raises no objections to the proposals as all of the new junction access points are acceptable in regards to their capacity for the level of trips expected, However the road junction design should include for LTN 1/20 cycle crossings, and a condition is required to ensure these are provided. Sufficient visibility is available in both directions at each access point. The level of parking provision is acceptable.

The sites are connected to the footway and cycle via the facilities provided along the new spine road and also through to the adjoining housing component of the mixed -use scheme through the network of public footpaths passing through POS and alongside the northern site boundary.

The Highway Officer notes that there are likely to be parking issues at drop-off /collection time should the school site come forward as parking may occur in the retail scheme and also along the access road, and for this reason parking restrictions should be considered along the access road. The effect of the parking impact can however be mitigated through securing sufficient parking space within the school site.

Therefore, the Highway Officer concludes that there are no technical reasons to object to the proposals as submitted. The traffic impact of the mixed- use proposals have already been dealt with in the outline stage and it is not therefore necessary for further assessment at this stage.

Ecology

There are various ecology matters to consider and these are broken down into the following subsections and assessed accordingly. A number of conditions of the outline approval concerning ecological issues are relevant to the consideration of this application as follows;

Condition 18 - Reserved matters application shall be accompanied by a detailed Ecological Mitigation strategy including a great crested newt mitigation.

An updated ecological assessment and mitigation strategy have been submitted as required by this condition.

Great Crested Newts are known to be present in a number of ponds in close vicinity to the application site and the application site supports suitable terrestrial habitat for this species. The proposed development would result in the loss of suitable terrestrial habitat and pose the risk of killing or injuring any newts present on site. The applicant has however already obtained a Natural England protected species license and great crested newts have been removed and excluded from the proposed development site. The Council's Ecologist therefore advises that based upon the current status of the species on site, the proposed reserved matters application would not result in a breach of the habitat regulations in respect of this species.

Two inactive badgers setts have been closed on site in advance of development commencing. A third sett was also recorded during surveys of the wider site, but this is considered to be sufficiently far away to not be affected by the development proposed by this reserved matters application.

The Council's Ecologist considers that the submitted mitigation strategy (version 6) is acceptable to fulfil the requirements of this condition.

Condition 20 All trees with bat roost potential shall be retained.

The identified trees are retained under the submitted arboricultural report and landscape plan as required by this condition.

Additional conditions

The Council's Ecologist recommends a condition should be attached to secure the implementation of the submitted landscape management plan (June 2023) for a period of 30 years.

Trees

The Forestry Officer has noted that the area to the east of this application site and up to the mixed-use site boundary will be part of the Great Crested Newt compensation area, the details of which were approved as part reserved matters approval 22/3170N.

However, the arboricultural assessment focused on the residential element of the proposals of planning approval 22/3170N, and the implementation of landscape features (pond and swales) within the compensation area in close proximity to protected field boundary trees were not considered, and as a result no tree protection or methodology for implementing these works was accounted for. Although outside the boundary of this application, the impacts to trees will nevertheless need to be considered in any event prior to implementation stage to address excavation and landscape works close to Root Protection Areas (RPAs) of retained and protected trees.

The application has now been supported by an updated Arboricultural Impact Assessment (AIA/NCH/06/23 Rev A) and Boundary Treatments Plan (L030 Rev B) which confirms the position of a barrier between the eastern boundary and the development area. Subject to construction being implemented in strict accordance with the AIA and Tree Protection Plan, the Forestry Officer advises that the submitted information is acceptable in terms of confirming impacts and minimising the negative effects of construction to retained trees.

The Forestry Officer raises no objection to the proposals subject to a condition being attached requiring the development to be carried out in accordance with the tree protection and special construction measures identified in the Arboricultural Impact Assessment.

Air Quality

Policy SE12 of the CELPS states that the Council will seek to ensure all development is located and designed so as not to result in a harmful or cumulative impact upon air quality. SNP Policy T5 (Improving Air Quality) echoes these objectives, and also set out the required details of Air Quality Assessments.

However, the impact on Air Quality from the mixed-use development was considered at the outline stage. To mitigate the impact on air quality, conditions were imposed on the outline approval requiring the provision of Electric Vehicle Infrastructure (Condition15).

To mitigate the impact on air quality, conditions were imposed on the outline approval requiring the approval of travel plan by the LPA prior to the first occupation of buildings (Condition 13) and also the provision of Electric Vehicle Infrastructure within the development on (Condition15).

As part of this reserved matters application the developer has stated that 5% of the car parking spaces will be for charging points but the Environmental Protection Officer has nevertheless advised that details of those charging points will need to be supplied to ensure they are fit for purpose. Details of an agreement to supply cabling for a further % will also need to be supplied.

However these details are required to be approved under Conditions 13 & 15 of the outline approval and therefore form no part of this application.

Flood Risk/Drainage

Drainage and flood risk issues were addressed at the outline stage. Condition 4 was imposed on the outline approval requiring that development shall not commence until details of a scheme for the disposal of foul and surface water from the development has been submitted to and approved in writing by the LPA.

Details of the drainage strategy for the mixed-use site were set out during the consideration of reserved matters approval 22/3170n for the residential phase of the scheme. The LLFA and United utilities raised no objections in principle to the Reserved Matters Application and the proposed Drainage Strategy.

The supporting drainage statement accompanying this application sets out that surface water will drain via the drainage system routed along the spine road and then running west to be contained within an attenuation basin located within POS of the approved residential area. A connection from the basin will then be made by gravity on a restricted basis to the United Utilities public surface water sewer system in Peter Destapleigh Way.

In terms of foul drainage it is proposed that the overall mixed-use development will drain to an adoptable pumping station located adjacent to the attenuation basin. A pumped connection will then be made to the United Utilities combined sewer system in Audlem Road to the west.

The supporting Drainage Statement also points out that with any greenfield site there are land drains which link into the drainage network, and here a drainage ditch runs from east to west along the northern boundary. Nevertheless, greenfield flows into this system will be substantially removed by the introduction of the development and the surface water drainage system described above.

The LLFA raises no objections to the proposals subject to the a condition requiring approval of a detailed surface water drainage scheme based on the principles set forward by the approved Flood Risk Assessment (FRA) and Drainage Strategy. United Utilities confirm that further to a review of the submitted Foul & Surface Water Drainage Design Drawing the proposals are acceptable.

Energy Efficient Development

SNP Policy GS5 (Environmental Sustainability of buildings and adapting to climate change) requires that new developments should seek to achieve the highest standards of sustainable development by incorporating, where practicable, features that improve environmental performance, including the use of new appropriate technologies.

The submitted Sustainability and Energy Statement sets out the overall approach to ensure the development optimises the use of decentralised, renewable and low carbon energy sources.

It is proposed that the development will be designed with a fabric first approach with U-Values, design air permeability and ventilation targets all aspiring to exceed Building Regulations Part L standards. High efficiency air source heat pumps are proposed to meet the heating and cooling demands of the development, alongside LED lighting with absence/presence control to minimise the electrical energy demand of the development.

An assessment of suitable technologies is made as regards their suitability to the site and development. The assessment determined that an air source heat pump system and PV arrays are the most suitable technologies for the development and will contribute to the CO2 emissions savings, measured against the building regulations L2A baseline emissions. It is stated that the promotion of the energy hierarchy and instillation of low and zero carbon technologies has achieved carbon neutrality for the units of the mixed-use scheme.

The Energy Statement concludes that the use of decentralised, renewable and low carbon energy sources within the development will provide 10% of energy from renewable or low carbon sources in accordance with the requirements of CELPS Policy SE.9 (Energy Efficient

Development). Notwithstanding this conclusion, and the overall strategy which has been outlined, Condition 14 of the outline approval (12/3747M requires that;

“No development shall take place until a scheme (including a timetable for implementation) to secure at least 10% of the energy supply of the development from decentralised and renewable or low carbon energy sources shall be submitted to and approved in writing by the LPA. The approved scheme shall be implemented and retained as operational thereafter”.

Other Issues

The issues raised in representations that are material planning considerations have been considered by the relevant specialist officers of the Council, and in the preceding text.

Construction Method Statement

Representations raise concerns about the impact of the development during the construction phase including the need to mitigate the impact of construction traffic in the locality. A construction method statement including details of measures to manage construction traffic and protect the amenities local residents during the construction of the development is required to be approved under Condition 7 of outline approval 12/3747N.

CONCLUSIONS

The principle of the development for a mixed-use scheme including employment units, offices and retail units on this site together with the associated access from Peter Destapleigh Way via a new road from the traffic light junction has been established under full planning approval 12/3746N (access road) and outline consent 12/3747N (mixed-use scheme) which were granted on appeal by the Secretary of State in July 2020.

This application relates to the approval of reserved matters including layout, scale, appearance, and landscaping relating to details of proposals for the siting of commercial components within the eastern part of the wider mixed-use development site.

The proposed scheme provides well designed buildings which integrate well with the context of the site, and are designed in accordance with the approved quantum and uses permitted through the outline planning permission and the design code supporting reserved matters approval 22/3170N. The development subject to conditions is supported in design terms and the proposals accord with Policies; SE1, SD1 and SD2 of the CELPS, GEN1 of the SADPD , Policy C3 of the SNP and the Cheshire East Design Guide SPD.

The scheme achieves an acceptable relationship with the character of the locality, without material harm to neighbouring residential amenity and the proposed siting and design of commercial units would ensure acceptable levels of amenity for the occupants of ten approved residential development within Maylands Park. As a result the development would comply with Policies HOU12 of the SADPD and policies C1 and C3 of the SNP.

The impact on the wider highway network arising from the mixed-use development of this site was addressed with during the consideration of the outline application. The internal road

network meets relevant highways design standards, and adequate car parking is provided in accordance with parking standards identified in the CELPS.

Therefore, the proposed access arrangements for the development will not adversely affect highway safety or result in traffic management issues on the local highway network and as such complies with CELPS Policies CO2 & CO4, SADPD Policy INF 3, and Policies T1 and T2 of the SNP.

The development includes satisfactory landscaping and planting, and also integrates well with its landscape context, in accordance with CELPS Policy SE4, SADPD Policy ENV5, SNP Policies GS1 and GS3, and the principles of design code.

It is considered that the ecological impacts will be mitigated and as a result the proposal complies with Policy SE 3 of the CELPS. The impact on trees and hedgerow is acceptable and would be mitigated by the proposed landscaping of the site, and a condition attached to protect retained trees.

The Council's Flood Risk Officer considers that subject to technical details being addressed the proposed surface water drainage system will satisfactorily serve the development.

Air quality and contaminated land matters were addressed at the outline stage, and subject to planning conditions of the outline approval which are required to be formally discharged.

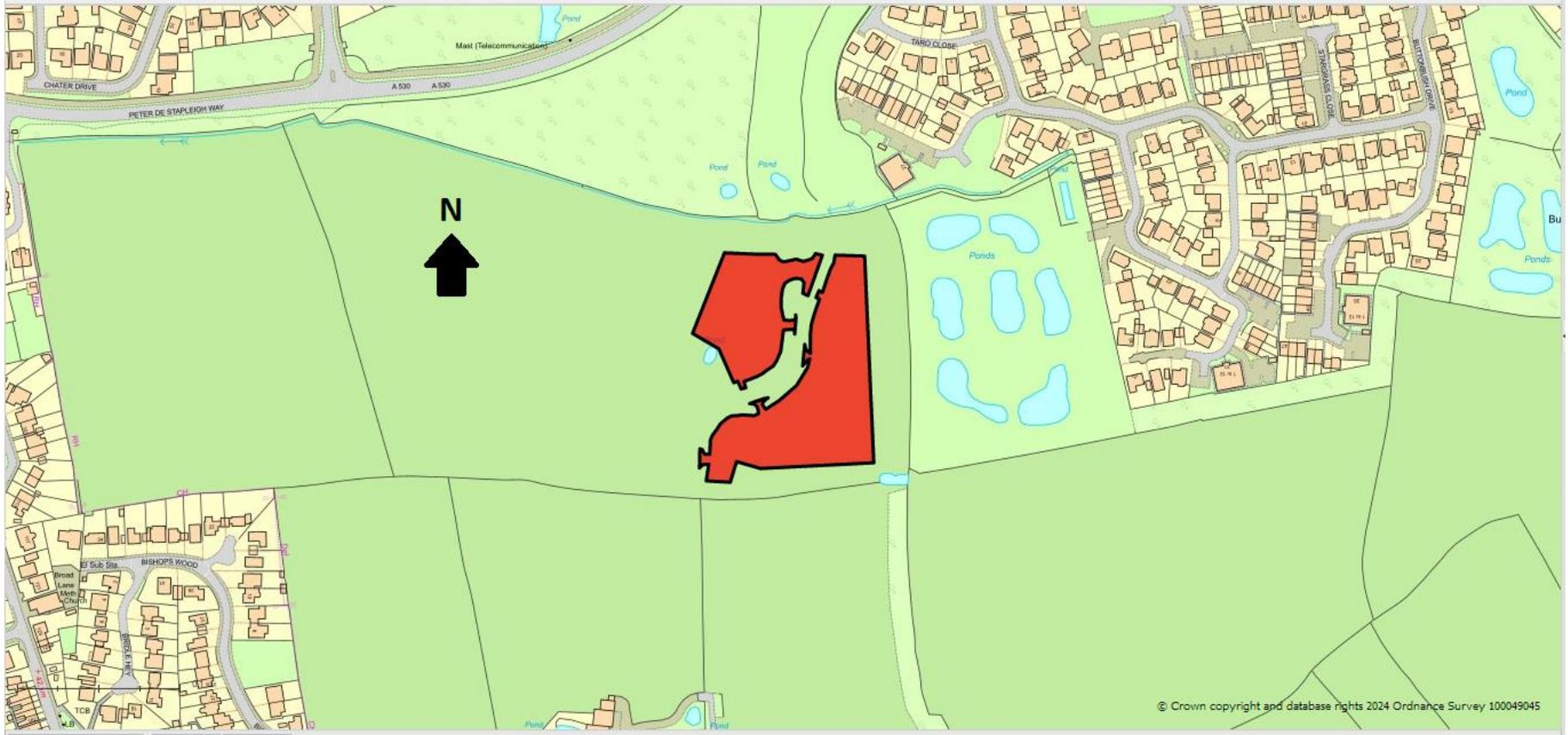
The proposals are therefore considered to be acceptable in the context of the relevant policies of the Cheshire East Local Plan Strategy, the SADPD, the Stapeley & Batherton Neighbourhood Plan and the advice of the NPPF.

RECOMMENDATION

APPROVE subject to the following Conditions:

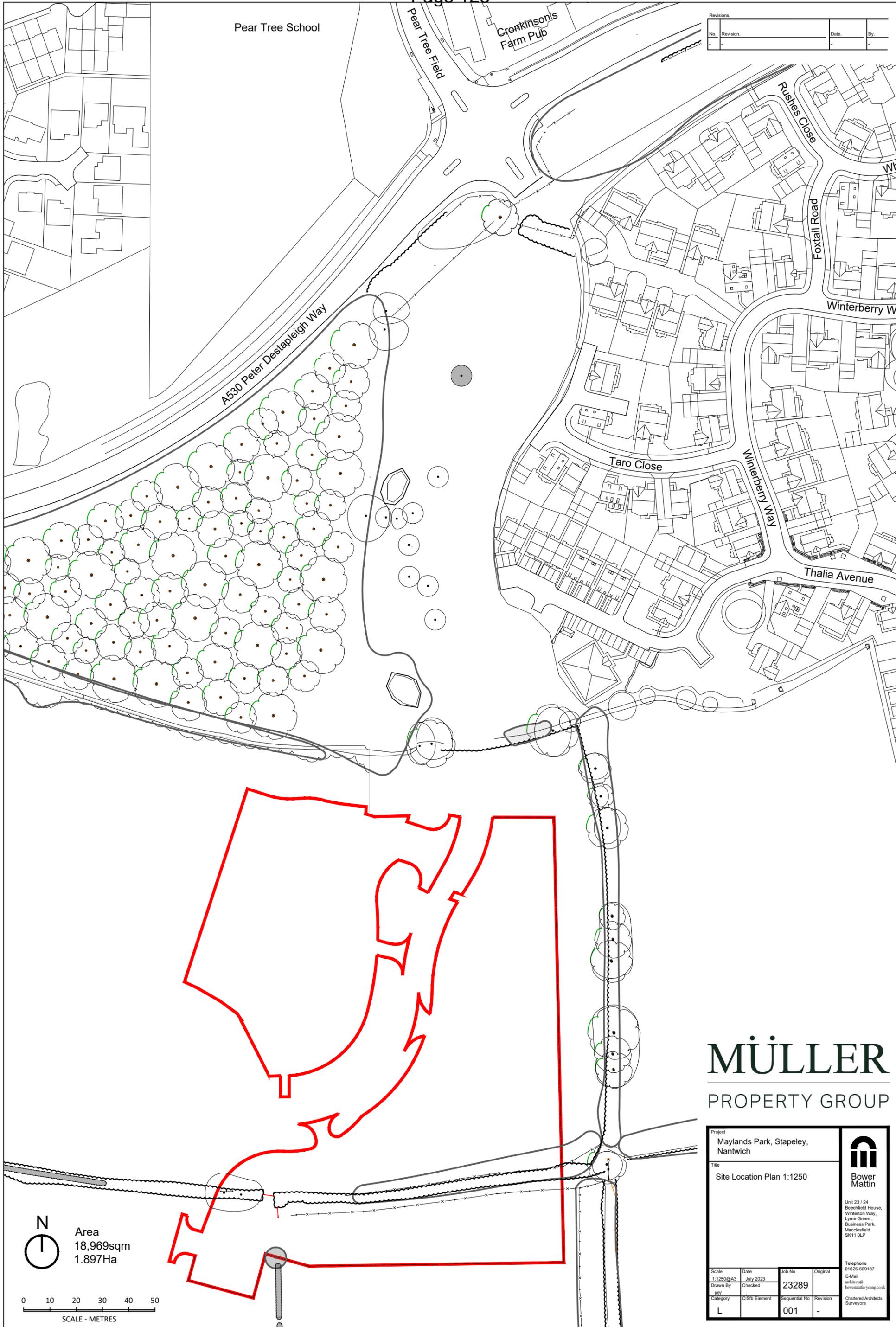
- 1. In accordance with outline permission**
- 2. In accordance with approved plans**
- 3. Submission/approval of facing and roofing materials**
- 4. Submission/approval of details of hard surfacing treatments**
- 5. Submission/approval of ground level and finished floor levels**
- 6. Development in accordance with tree protection and special construction measures of AIA & Method Statement**
- 7. Implementation of landscape scheme**
- 8. Landscape Management Plan - 30 years**
- 9. Details of Cycle Storage provision**
- 10. Details of road junction cycle crossings**
- 11. Implementation of Noise mitigation in accordance with NIA**
- 12. Operations, Opening Hours and Deliveries for retail units to be restricted to 0700 -2300 hours (Sunday- Monday)**
- 13. Details of Odour Control**
- 14. Contaminated land – soil testing**
- 15. Measures to deal with unexpected contamination**

In order to give proper effect to the Strategic Planning Board's intent and without changing the substance of its decision, authority is delegated to the Head of Planning in consultation with the Chair (or in their absence the Vice Chair) to correct any technical slip or omission in the resolution, before issue of the decision notice



23/2566N

**LAND AT PETER
DESTAPLEIGH WAY,
NANTWICH, CHESHIRE**

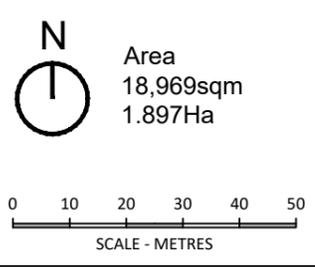


Revisions:		
No.	Revision.	By.
-	-	-

MÜLLER

PROPERTY GROUP

Project Maylands Park, Stapeley, Nantwich		 Bower Mattin <small>Unit 23 / 24 Beechfield House, Winterton Way, Lyme Green, Business Park, Macclesfield SK11 0LP</small>	
Title Site Location Plan 1:1250			
Scale 1:1250@A3	Date July 2023	Job No 23289	Original
Drawn By MY	Checked	Sequential No 001	Revision
Category L	CIS/6 Element	Chartered Architects Surveyors	



No.	Revision	Date	By
A	Junction layout to retail reverted back as approved SCP layout	03.04.2023	MY
B	Office building repositioned and car park updated. Indicative primary school omitted as client comments.	04.04.2023	MY
C	Road layout updated as client comments.	24.04.2023	MY
D	Plan extended to Peter Destaplegh Way	18.05.2023	MY
E	Converted to A0 Sheet and Context Widened	23.05.2023	MY
F	Logos Updated	01.06.2023	MY
G	Updated following Pre App Meeting	15.06.2023	MY
H	Site Edge Red Amended	19.06.2023	MY
J	Site Edge Red Amended and FP added	19.06.2023	MY
K	Title block amended & corrections	04.07.2023	MY
L	Amended following Highway comments	05.01.2024	MY



MÜLLER

PROPERTY GROUP

Project Maylands Park, Stapleley, Nantwich		 Bower Mattin	
Redeem Matters Planning Neighbourhood Centre			
Title Reserved Matters Site Layout		Unit 23/24 Beechfield House Westerton Way Macclesfield Cheshire SK11 6LP Telephone 01625-559187 E-Mail info@bmm.co.uk www.bmm.co.uk	
Scale 1:500(BAD)	Date March 2023		Job No 23289
Drawn By EYE	Checked CEB/E		Original L
Category L	CIB/E -		Sequential No 004





- LEGEND**
- SOFT LANDSCAPE**
- Existing Trees and Hedges to be Retained
Trees to be retained and protected in line with BS5837:2012. Please refer to Keen Consultants Arboricultural Survey for more information.
 - Existing Tree to be Removed
 - Proposed Native Trees
Semi-mature, 20-25cm girth
 - Proposed Medium/ Large Trees
Extra Heavy Standard, 14-16cm girth/ 18-20cm, 3-4m high to be planted with a double timber stake secured with a rubber tree tie.
 - Proposed Small Ornamental
Selected Standard or Multi-stem, 10-12cm girth-14-16cm, 3-4m high to be planted with a double timber stakes secured with a rubber tree tie.
 - Proposed Small Fastigiate Tree in Soft Landscape
Trees to be planted as 10-12cm girth. Selected Standard, 3-3.5m high. Fastigiate form.
 - Proposed Ornamental Hedges
Proposed ornamental hedge to be 80-100cm, planted in 10L containers at a rate of 3 per lin. metre.
 - Proposed Native Hedgerow
Proposed native hedge to be 100-120cm height planted in a double staggered row at 300mm apart in ecology area. To have minimum 5 species.
 - Proposed Ornamental Planting
Mixed shrub and herbaceous planting. 3.5ltr pots with 10ltr specimens. Planting beds to receive 75mm depth ornamental bark mulch.
 - Proposed Native Shrub Mix
To be planted as bare root stock, 60-80cm, at 2p/m², and protected with spiral guards. To be planted in groups of 3-5 plants.
 - Proposed Wildflower Meadow
To be Emorsgate EM2 Standard General Purpose Meadow Mix, supplied by Emorsgate or similar approved. Including 80% of ornamental grasses and 20% of wildflowers. Sowing rate 4/gm².
 - Proposed Amenity Grass
Seeded or Turfed - General purpose amenity mix
 - Proposed Bulbs
To provide seasonal interest.
 - Spine Road Landscape Proposals
To be delivered by other parties

- HARD LANDSCAPE**
- Proposed Asphalt Surface to Circulation Road
To Engineers details.
 - Proposed Asphalt to Walkways
To Engineers details.
 - Proposed Concrete Surface to Service Yard
To Engineers details.
 - Proposed Concrete Block Paving to Pavement Areas
Block paving proposed in pedestrian areas.
Size: 200mm x 100mm, 65mm thick
Colour: Silver grey
Supplier: Marshalls (or similar approved)
 - Proposed Tegula Block Paving for Parking areas
Laying bond: Tegula Trio
Color: Traditional
Supplier: Tobermore (or similar approved)

- GENERAL NOTES**
1. This drawing is the copyright of TPM Landscape Ltd and cannot be reproduced in any form without the consent of the company.
 2. This drawing is to be read in conjunction with detail landscape drawings, details and specification.
 3. This drawing is to be read in conjunction with all relevant Architects', Engineer's, Specialist's, Bills of Quantities and Specifications.
 4. The insertion of any firm or proprietary brand on this drawing is an indication of the class or quality required and does not exclude the use of alternative materials that are equal in performance, quality and appearance, provided that they have been approved in writing by the Landscape Architect.
 5. The Contractor is responsible for accurately ascertaining the position of underground services and responding to all relevant service easement requirements.
 6. All dimensions are in millimetres unless stated otherwise, for the purposes of construction this drawing must not be scaled and only written dimensions used. Written and scaled dimensions to be checked on site, any discrepancies reported prior to work commencing. IF IN DOUBT PLEASE ASK.
 7. All work and materials are to be in accordance with the relevant British Standards and Code of Practice.
 8. All Proprietary products are to be used strictly in accordance with the manufacturer's instructions and details.

REVISION NOTES

Rev	By	Description	Date
E	EO	Amended to suit client's comments	08.01.24
D	EO	Minor Amendments	26.06.23
C	EO	Minor Amendments	26.06.23
B	EO	Updated in line with new arch layout	23.06.23
A	ct	new arch layout and spine road landscape added	26.05.23

Client
Muller Property Group

Project
Peter Destaplegh Way - Maylands

Description
Landscape Layout

Status
For Approval

Scale @ A1
1:500

Job number
4377

Drawn
JL

Checked
CT

Date
18.04.23

Revision
E

MÜLLER
PROPERTY GROUP

tpm landscape
chartered landscape architects
address: 4th Floor Studio 10 Little Lever St Manchester M1 1HR
tel: 0161 235 0600 fax 0601 email info@tpmlandscape.co.uk

Revisions			
No.	Revision	Date	By
A	As client comments	25.05.2023	MY
B	As client comments	02.06.2023	MY
C	Updated following Pre App Meeting	15.06.2023	MY
D	Site Edge Red Updated	19.06.2023	MY
E	Site Edge Red Amended and FP added	19.06.2023	MY
F	Amended as client comments	27.06.2023	MY
G	Amended following Highway comments	05.01.2024	MY



M MAYLANDS PARK

MÜLLER

PROPERTY GROUP

Project Maylands Park, Stapeley, Nantwich		 Bower Martin	
Redevelop Matters Planning Neighbourhood Centre			
Title Proposed Wider Context Colour Site Masterplan with Roofs		Unit 23/ 24 Beechfield House Winterton Way Macclesfield Cheshire SK11 0LP Telephone 01625-509187 E-Mail architect@ bower-martin.co.uk	
Scale 1:1000@A1	Date May 2023	Job No 23289	Original
Drawn By MY	Checked	Sequential No 012	Revision G
Category L	GISB Element -		Chartered Architects Surveyors

Revisions			
No.	Revision	Date	By
A	Updated	15.05.2023	MY
B	Updated following Pre App Meeting	16.06.2023	MY

Materials Key

- ① Facing Brick Type 1 (Red Multi)
- ② Facing Brick Type 2 (Buff)
- ③ Kawneer PPC Aluminum Curtain Wall Double Glazing
- ④ Flat Architectural Metal Insulated Composite Panels
- ⑤ Profiled Metal Composite Insulated Roof Panels with Colour Matched PPC Eaves and Gutter Flashings
- ⑥ PPC Roller Shutter Loading Bay Doors
- ⑦ Dock Leveller Lorry Loading Bays



Side North Elevation (to access road) 1:100



Side South Elevation 1:100



Project Maylands Park, Stapeley, Nantwich				 Bower Mattin
Redev. Matters Planning Neighbourhood Centre				
Title Building D, E and F Industrial Units Side Elevations				Unit 23/24 Beechfield House Winterton Way Macclesfield Cheshire SK11 0LP Telephone 01625-509187 E-Mail architects@ bower-mattin.co.uk Chartered Architects Surveyors
Scale	Date	Job No	Original	
1:100@A1	March 2023	23289		
Drawn By	Checked			
MY				
Category	CISb Element	Sequential No	Revision	
L	-	307	B	

Revisions			
No.	Revision	Date	By
A	Updated	15.05.2023	MY
B	Updated following Pre App Meeting	16.06.2023	MY



Rear East Elevation (to service yard) 1:200



Rear East Elevation (to service yard) 1:100



Rear East Elevation (to service yard) 1:100 continued

Materials Key

- ① Facing Brick Type 1 (Red Multi)
- ② Facing Brick Type 2 (Buff)
- ③ Kawneer PPC Aluminum Curtain Wall Double Glazing
- ④ Flat Architectural Metal Insulated Composite Panels
- ⑤ Profiled Metal Composite Insulated Roof Panels with Colour Matched PPC Eaves and Gutter Flashings
- ⑥ PPC Roller Shutter Loading Bay Doors
- ⑦ Dock Leveller Lorry Loading Bays



Project Maylands Park, Stapeley, Nantwich				 Bower Mattin Unit 23/24 Beechfield House Winterton Way Macclesfield Cheshire SK11 0LP Telephone 01625-509187 E-Mail architects@ bower-mattin.co.uk Chartered Architects Surveyors
Redevelop Matters Planning Neighbourhood Centre				
Title Building D, E and F Industrial Units Rear East Elevation				
Scale 1:100@A1	Date March 2023	Job No 23289	Original	
Drawn By MY	Checked MY	Sequential No 306	Revision B	
Category L	CISb Element -	Sequential No 306	Revision B	

Revisions			
No.	Revision	Date	By
A	Updated	15.05.2023	MY
B	Updated following Pre App Meeting	16.06.2023	MY



Front West Elevation (fronting spine road) 1:200



Front West Elevation (facing spine road) 1:100



Front West Elevation (facing spine road) 1:100

Materials Key

- ① Facing Brick Type 1 (Red Multi)
- ② Facing Brick Type 2 (Buff)
- ③ Kawneer PPC Aluminum Curtain Wall Double Glazing
- ④ Flat Architectural Metal Insulated Composite Panels
- ⑤ Profiled Metal Composite Insulated Roof Panels with Colour Matched PPC Eaves and Gutter Flashings
- ⑥ PPC Roller Shutter Loading Bay Doors
- ⑦ Dock Leveller Lorry Loading Bays



Project Maylands Park, Stapeley, Nantwich				 Bower Mattin
Redev. Matters Planning Neighbourhood Centre				
Title Building D, E and F Industrial Units Front West Elevation				Unit 23/24 Beechfield House Winterton Way Macclesfield Cheshire SK11 0LP Telephone 01625-509187 E-Mail architects@ bower-mattin.co.uk Chartered Architects Surveyors
Scale	Date	Job No	Original	
1:100@A1	March 2023	23289		
Drawn By	Checked			
MY				
Category	CISb Element	Sequential No	Revision	
L	-	305	B	

Revisions			
No.	Revision	Date	By
A	Updated	17.05.2023	MY
B	Updated following Pre App Meeting	2023.06.23	MY



Rear East Elevation



North Side Elevation

Materials Key

- ① Facing Brick Type 1 (Red Multi)
- ② Facing Brick Type 2 (Buff)
- ③ Patent Glazing/ Kawneer PPC Aluminum Curtain System
- ④ Louvres/ Lookalike Panels
- ⑤ Metal/ Single Ply Membrane Roof
- ⑥ PPC Eaves and Flashings
- ⑦ PV Cell Array on Plantroom Roof (with intelligent battery system)
- ⑧ Stone Cappings



Project Maylands Park, Stapeley, Nantwich				 Bower Mattin
Redevelopment Planning Neighbourhood Centre				
Title Office (Building C) Rear East and North Side Elevations				Unit 23/ 24 Beechfield House Winterton Way Macclesfield Cheshire SK11 0LP Telephone 01625-509187 E-Mail architects@ bower-mattin.co.uk Chartered Architects Surveyors
Scale 1:100@A1	Date March 2023	Job No 23289	Original	
Drawn By MY	Checked	Sequential No	Revision	
Category L	CIS/6 Element -	205	B	

Revisions			
No.	Revision	Date	By
A	Updated	17.05.2023	MY
B	Updated following Pre App Meeting	2023.06.23	MY



Front West Elevation (fronting spine road)



South Side Elevation (fronting car park)

Materials Key

- ① Facing Brick Type 1 (Red Multi)
- ② Facing Brick Type 2 (Buff)
- ③ Patent Glazing/ Kawneer PPC Aluminum Curtain System
- ④ Louvres/ Lookalike Panels
- ⑤ Metal/ Single Ply Membrane Roof
- ⑥ PPC Eaves and Flashings
- ⑦ PV Cell Array on Plantroom Roof (with intelligent battery system)
- ⑧ Stone Cappings



Project Maylands Park, Stapeley, Nantwich				 Bower Mattin
Redevelopment Planning Neighbourhood Centre				
Title Office (Building C) Front West and South Side Elevations				Unit 23/ 24 Beechfield House Winterton Way Macclesfield Cheshire SK11 0LP Telephone 01625-509187 E-Mail architects@ bower-mattin.co.uk Chartered Architects Surveyors
Scale 1:100@A1	Date March 2023	Job No 23289	Original	
Drawn By MY	Checked			
Category L	CIS/6 Element -	Sequential No 204	Revision B	



Retail Units - Front (East) Elevation 1:200

Materials Key

- ① Facing Brick Type 1 (Red Multi)
- ② Facing Brick Type 2 (Buff)
- ③ Patent Glazing/ Kawneer PPC Aluminum Curtain System
- ④ PPC Aluminum/ Zinc Metal Cladding
- ⑤ Manmade Slate Tile Roof
- ⑥ Wet Cast Stone Details
- ⑦ Ridge Glazing
- ⑧ Glazed Canopy

Revisions

No.	Revision	Date	By
A	Updated	19.05.2023	MY
B	Updated as Client Comments	22.05.2023	MY



Retail Units - Front (East) Elevation 1:100



Retail Units - Front (East) Elevation 1:100 (Continued)



Project Maylands Park, Stapeley, Nantwich Redevle Matters Planning Neighbourhood Centre				 Bower Mattin Unit 23/ 24 Beechfield House Winterton Way Macclesfield Cheshire SK11 0LP Telephone 01625-509187 E-Mail architects@ bower-mattin.co.uk Chartered Architects Surveyors
Title Retail Units Front (East) Elevation				
1:100@A1 Drawn By	Date March 2023 Checked	Job No 23289	Original	
Category L	C/S/B Element -	Sequential No 104	Revision B	



Retail Units - Rear (West) Elevation 1:200

Materials Key

- ① Facing Brick Type 1 (Red Multi)
- ② Facing Brick Type 2 (Buff)
- ③ Patent Glazing/ Kawneer PPC Aluminum Curtain System
- ④ PPC Aluminum/ Zinc Metal Cladding
- ⑤ Manmade Slate Tile Roof
- ⑥ Wet Cast Stone Details
- ⑦ Ridge Glazing
- ⑧ Glazed Canopy

Revisions

No.	Revision	Date	By
A	Updated	19.05.2023	MY



Retail Units - Rear (West) Elevation 1:100



Retail Units - Rear (West) Elevation 1:100 (Continued)



Project Maylands Park, Stapeley, Nantwich Redevle Matters Planning Neighbourhood Centre				 Bower Mattin Unit 23/ 24 Beechfield House Winterton Way Macclesfield Cheshire SK11 0LP Telephone 01625-509187 E-Mail architects@ bower-mattin.co.uk Chartered Architects Surveyors
Title Retail Units Rear (West) Elevation				
1:100@A1	Date March 2023	Job No 23289	Original	
Category L	CiS/b Element -	Sequential No 105	Revision B	

Revisions			
No.	Revision	Date	By
A	Updated as Client Comments	22.05.2023	MY



Retail Units - Side (North) Elevation 1:100

Materials Key	
①	Facing Brick Type 1 (Red Multi)
②	Facing Brick Type 2 (Buff)
③	Patent Glazing/ Kawneer PPC Aluminum Curtain System
④	PPC Aluminum/ Zinc Metal Cladding
⑤	Manmade Slate Tile Roof
⑥	Wet Cast Stone Details
⑦	Ridge Glazing
⑧	Glazed Canopy



Retail Units - Side (South) Elevation 1:100

MÜLLER

Project Maylands Park, Stapeley, Nantwich Redevelop Matters Planning Neighbourhood Centre				 Bower Mattin
Title Retail Units Side North and South Elevations				
Unit 23/ 24 Beechfield House Winterton Way Macclesfield Cheshire SK11 0LP Telephone 01625-509187 E-Mail architects@ bower-mattin.co.uk Chartered Architects Surveyors				
1:100@A1	Date May 2023	Job No 23289	Original	
Drawn By	Checked	Sequential No 106	Revision A	
Category L	Ci/Sib Element -			

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